



AGENDA

Thursday, August 22, 2024: 6:00 PM

Planning Board

Douglass Community Center: 1185 W. Pennsylvania Ave

1. CALL TO ORDER

2. APPROVAL OF MINUTES

3. PRELIMINARY FORUM

a. PD-04-24 Planned Development - Preliminary Development Plan for WNC8 Distribution Center

Patrick Theodossiou of SunCap Property Group and Bob Koontz of Koontz Jones Design have submitted a Planned Development District – Preliminary Development Plan application for the addition of a ±65,200 square-foot distribution center, including warehousing, office, and courier services, within the Southern Pines Corporate Park on a ±15.77-acre portion of the parcels identified as PARIDs 00039569 and 00031777. The development also includes an access drive and a multimodal path, bringing the total project area to ±18.5 acres of land.

4. UNFINISHED BUSINESS

5. NEW BUSINESS

6. PUBLIC COMMENTS

7. ADJOURNMENT

Agenda Item

To: Planning Board

From: Alaina Mallette, Senior Planner

Via: BJ Grieve, Planning Director

Subject: PD-04-24: Planned Development District - Preliminary Development Plan for a portion of Phase 2 of Southern Pines Corporate Park, addition of ±65,200 square-foot distribution center on ±15.77 acres on the west side of Air Tool Drive; Petitioner: SunCap Property Group; Authorized Agent: Koontz Jones Design; Property Owner: RAB Investments, LLC

Date: August 22, 2024

I. SUMMARY OF APPLICATION REQUEST

Patrick Theodossiou of SunCap Property Group and Bob Koontz of Koontz Jones Design have submitted a Planned Development District – Preliminary Development Plan application pursuant to §2.18.5 of the Town of Southern Pines Unified Development Ordinance for the addition of a ±65,200 square-foot distribution center, including warehousing, office, and courier services, within the Southern Pines Corporate Park on a ±15.77-acre portion of the parcels identified as PINs 858200843785 and 858216941750 (PARIDs 00039569 and 00031777, respectively). Per the Moore County tax record, the subject properties are owned by RAB Investments, LLC. The development also includes an access drive and multimodal path, bringing the total project area to ±18.5 acres of land.

II. PROJECT INFORMATION

A. Property Owner & Applicant Information

1. Property Owner

RAB Investments, LLC
PO Box 4406
Pinehurst, NC 28374

2. Applicant

SunCap Property Group -
Patrick Theodossiou
6101 Carnegie Boulevard
Charlotte, NC 28209

3. Authorized Agent

Koontz Jones Design, PLLC – Bob
Koontz
140 Applecross Road, Suite B
Pinehurst, NC 28374

B. Property Information

1. **Street Address** has not yet been given.

2. Size of Property

Total Size of Existing Parcels:	91.24 acres (deeded acres)
Total Project Area:	18.48 acres (includes access road and multimodal path)
Proposed Lot Area:	15.77 acres (as shown on draft preliminary plat)
Southern Pines Corporate Park Area:	104.79 acres (per file #Z-01-14)

3. Existing Infrastructure

The subject property is currently land locked with sole access through a sewer easement. The ends of Air Tool Drive that connect to Yadkin Road and Aro Road/NC Highway 1 have been approved, dedicated, and accepted by the Town of Southern Pines, as shown in purple in Figures 1 and 6. The remaining portion of Air Tool Drive is a private road owned by RAB Investments, LLC, shown in pink in Figure 1. Sidewalks exist on the Town's sections of Air Tool Drive, but are not along the private section of the road. From prior development, sanitary sewer exists within the parcel and adjacent/through the proposed lot, and connects to Air Tool Drive lines. Water lines exist along Air Tool Drive and cross the parcel north of the proposed development from Air Tool Drive to Trimble Plant Road.

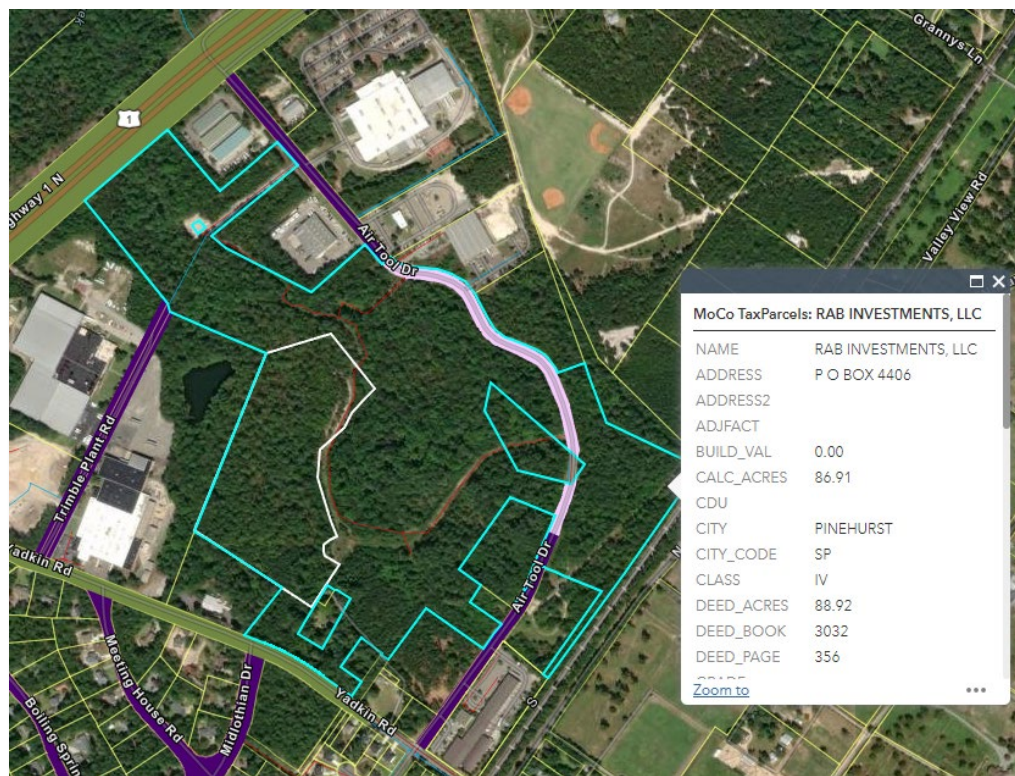


Figure 1. Existing Infrastructure (Approx. Proposed Lot Boundaries in White)

4. Property Zoning

The current zoning of the subject property is PD (Planned Development) with two active entitlements, a conditional use permit (file #CU-03-06) and rezoning (file #Z-01-24). The Southern Pines Corporate Park (“Corporate Park”) master plan dates back to 2006 when a conditional use permit was submitted, which was approved in 2006 and modified in 2007 to 1) divide Lot #11 into #11A and #11B and 2) add 3.17 acres to the total acreage, as shown in Figure 4 and Attachment 6. At that time the properties were zoned Industrial and followed Industrial zoning district standards. In 2014, after Planned Development districts were included into the Southern Pines Unified Development Ordinance (“UDO”), a rezoning application was submitted to rezone from Industrial district to Planned Development district, at which time additional land uses were added to the list of permitted uses, but with a caveat that the total gross land area could not have less than 75% industrial land uses (see Attachment 6).

The subject property falls fully within the High-Quality Watershed Protection Overlay, and no watershed protection permit has been approved nor watershed credits allocated to the subject properties. Adjoining properties are zoned Industrial, but include single-family dwelling units, a religious institution, and several vacant lots. Properties within the vicinity are zoned residential (see Figure 2).



Figure 2. Existing Zoning (Approx. Proposed Lot Boundaries in White)

Figure 3. Southern Pines Corporate Park PDP Phase 2, Project 1 Site Plan (see Attachment 3) and CDP Master Plan Locator (see Attachment 2)

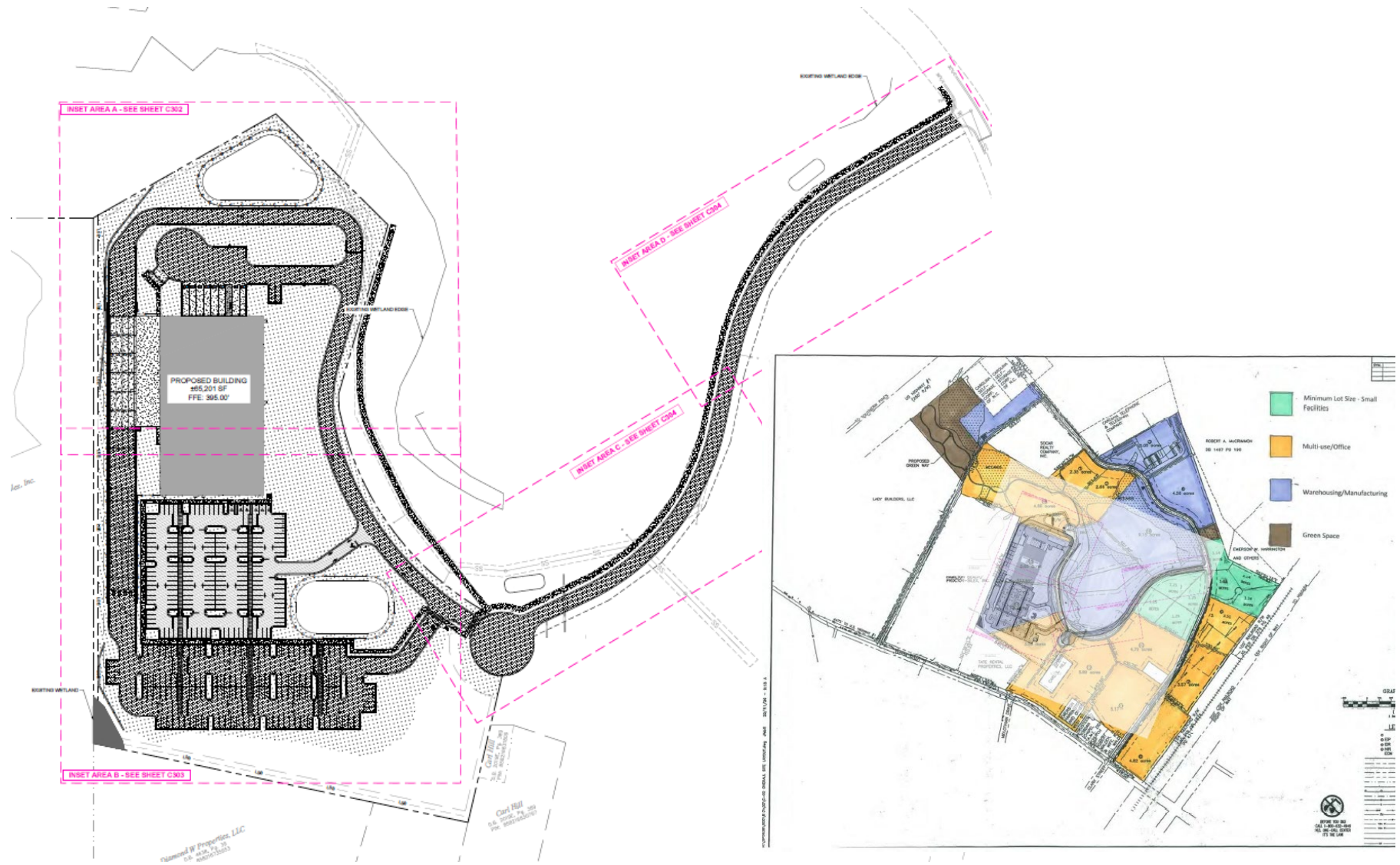
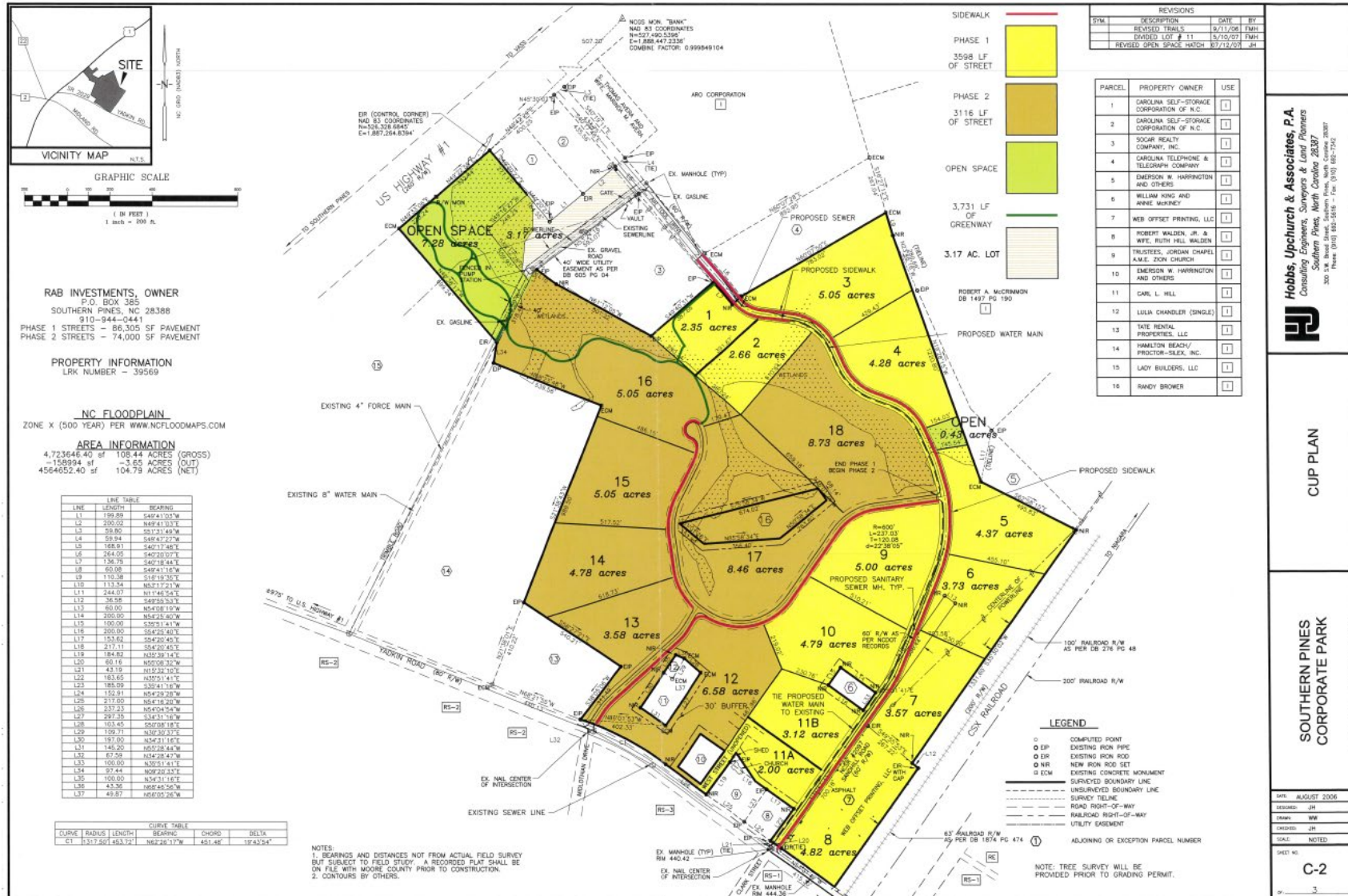


Figure 4. Southern Pines Corporate Park Phasing Plan, Open Space Plan, and Park Improvements



III. STAFF REVIEW

A. Review Process

The procedures for review and approval of a Planned Development district are established within Chapter 2 of the Town of Southern Pines Unified Development Ordinance. Chapter 2 describes a three-step process of Conceptual Development Plan (“CDP”; i.e., CU-03-06 and Z-01-14), Preliminary Development Plan (“PDP”; i.e., PD-04-24), and Final Development Plan to complete a Planned Development district. This application is for a PDP.

B. Summary of Procedural Requirements

- Preliminary Development Plan Application Submitted: **July 8, 2024**
 - Additional Materials Submitted: **August 14, 2024**
- Application Deemed Complete: **July 15, 2024**
 - Sufficiency
- Notice of August 22, 2024, Planning Board Preliminary Forum:
 - Posted On-site: **August 6, 2024**
 - Mailed: **August 5, 2024**
 - Internet: **August 2, 2024**
 - Published: **August 7 and August 14, 2024**
- Consultation with the Technical Review Committee: **July 23, 2024**
- Consultation with the Town Manager¹: **August 1, 2024**
- Planning Board Regular Meeting/Preliminary Forum: **August 22, 2024**

C. Applicable Criteria for Review

The criteria for review and approval of a PDP are found in Chapter 2, §2.18.5(H), of the Town of Southern Pines Unified Development Ordinance. Staff analysis of how the application addresses these criteria begins on the following page of this document.

Preliminary Development Plan (UDO §2.18.5(H))

1. *The application demonstrates that it will achieve the purposes of the PD and this section;*
2. *The Preliminary Development Plan is consistent with the Conceptual Development Plan and conforms to all applicable provisions of this UDO;*
3. *The proposed Development is located in an area of the Town that is appropriate; and*
4. *The proposed Development will not cause the need for inefficient extensions and expansions of public facilities, utilities and services.*

For reference, the following excerpt describes the **purpose of Planned Development districts (UDO §3.5.14A))**

*“The **PD** district is designed to accommodate mixed land uses, such as office, residential, service, commercial, public or private recreational Development, and where consistent with the future land use map, light manufacturing and*

¹ Per UDO §4.11.10(I)

assembly uses that comply with the employment center Development Patterns in section 6.5 of this UDO. This district is intended to allow mixed-use Developments in areas where sufficient public water and sewer service is available (or can be readily extended) and where the street system is adequate (or can be readily improved) to handle the projected traffic volumes generated by the Development. The regulations of this district are intended to:

- 1. Encourage planned, large-tract Development, including service, office, commercial, residential, public or private recreational Development or light industrial uses;*
- 2. Exclude heavy commercial and heavy industrial land uses;*
- 3. Encourage Development in areas located on major thoroughfares and collector streets;*
- 4. Encourage vehicular access from service drive and other local streets;*
- 5. Provide performance standards to help ensure Compatible land uses;*
- 6. Encourage common or shared parking;*
- 7. Promote creativity and innovation in the design that leads to more appropriate relationships between land uses and features;*
- 8. Facilitate clustering of Development thereby increasing the amount of saved land;*
- 9. Foster Development of a network of open space to serve a variety of recreational and environmental purposes designed and located with respect to existing unique natural features and environmentally sensitive areas;*
- 10. Improve connectivity within and between Developments to promote mobility and enhance walkability;*
- 11. Integrate public spaces and amenities to promote community gatherings and activities;*
- 12. Establish coordinated land plan and consistent treatment of common design elements;*
- 13. Provide the flexibility to respond to market conditions over longer projected Development periods due to the scale of such Developments; and*
- 14. If residential land uses are proposed, provide a variety of Lot sizes and Dwelling types to expand the spectrum of housing choices for households of various type, size, income and age.”*

D. Town Staff Review and Comments

Planning staff have reviewed the PDP application materials for consistency with each of the four (4) criteria for PDPs. See comments in this section.

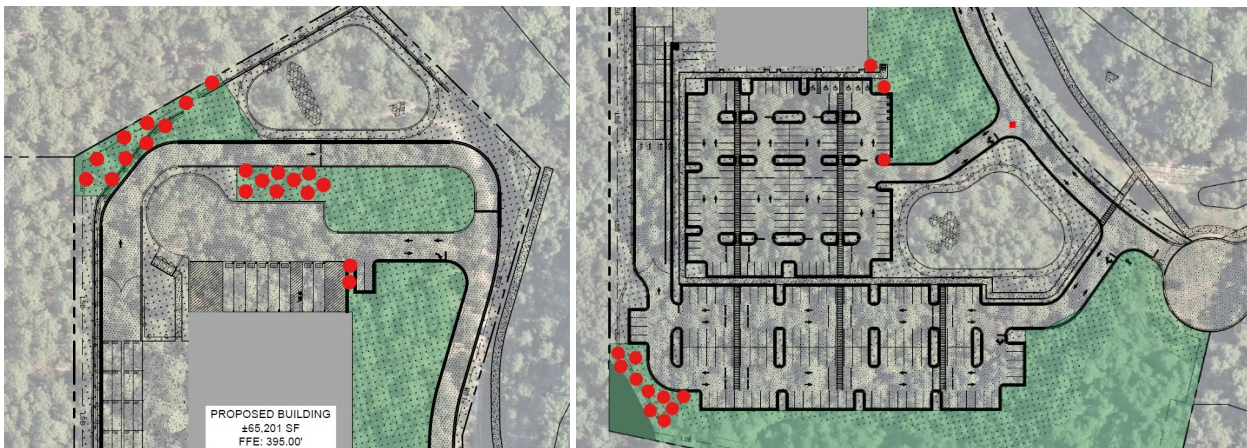
i. Achieving the purposes of both the Southern Pines Corporate Park Planned Development and Planned Development Districts, Generally

The development is for a corporate park that follows industrial district standards rather than the corporate or industrial park standards in UDO §6.5 Employment Center Patterns, according to existing development approvals. Inconsistencies with open space, connectivity, and amenities are addressed below. Otherwise, the PDP achieves the purposes of the PD district and districting.

Open Space and Connectivity

The entire Corporate Park is required to have 20.958 acres of open space, of which 10.479 acres must be usable. The PDP narrative states that 4.63 acres of open space is being provided at four different locations on the lot. However, several portions of those areas do not meet the minimum standards for open space, per UDO §4.9 and §4.3.4(B)(5). The areas shown with red dots below do not qualify as open space considering that they are land areas between buildings and vehicle use areas less than 40’ wide, including a retaining wall between 6’ and 16’ tall (considered a structure, per UDO §4.2.2(E)), and within the required setback area and/or 10’ buffer strip. Any of the remaining areas in green may be considered open space if properly vegetated and landscaped following UDO §4.3.7 cleared area standards, which will be required during site plan review.

Figure 5. Areas that Cannot Count Towards Open Space Requirements (in Red)



Furthermore, per UDO §4.9.1(B)(3), open space may be considered usable if landscaped for recreation and as an amenity, such as picnic areas or similar facilities. Although the narrative states, “None of the open space provided will be considered usable,” there is an opportunity to create usable open space in the front yard of the site to be used by employees as well as along the greenway outside of the right-of-way. This is not required, but may be an opportunity for the entire Corporate Park to meet some of the usable open space requirement, which is currently at 0 acres provided.

This PDP is the first in Phase 2 development of the Corporate Park (see Figure 4 and Attachment 6), which includes 3,731 linear feet of greenway trail. The proposed PDP will be located on the Phasing Plan Lots #13 through #16, on which a portion of the greenway trail will be located. The applicant states in the narrative that, “A multi-modal path will be constructed just off the property to the northeastern corner of the property. The trail will be located in a location that will allow connection to the future corporate park greenway trail, which will be constructed by the owner of the business park.” The proposed multi-modal path will be 10’ wide and constructed to greenway standards, and is doubling as sidewalk on one side of the access road. This cannot count towards

usable open space along the access road as it is located in the right-of-way (UDO §4.9.1(C)). However, the pathway that starts at the end of the cul-de-sac that goes northward towards the Corporate Park greenway may count towards usable open space requirements.

In order for a sidewalk to be permitted on one side of the access road in industrial areas, it must satisfy several greenway criteria, outlined in UDO §4.11.10(I) as paraphrased below:

1. Criterion 1. Greenway trail standards must be met on at least 50% of the required sidewalk on one side of the street; and
2. Criterion 2. Sidewalks must provide reasonable connectivity to streets, sidewalks, and greenways within or adjoining the development; and
3. Criterion 3. Sidewalks must be constructed to the Town's public greenway standards; and
4. Criterion 4. The sidewalk/greenway must be accessible to the public;
5. Criterion 5. The greenway must be privately installed and privately maintained in perpetuity without cost to the Town; and
6. Criterion 6. The Town Manager must review the proposed greenway and compliance with provisions for its installation and maintenance.

Planning staff discussed these criteria with the Technical Review Committee and the Town Manager. The proposed PDP complies with Criterion 1. Compliance with Criterion 3, 4, and 5 will be confirmed during site plan review, but no concerns have been identified regarding these criteria at this time. Regarding Criterion 2, the proposed greenway that goes from the cul-de-sac to the northeastern corner of the property dead-ends and does not appear to provide connectivity back to sidewalk on Air Tool Drive or a completed Corporate Park greenway. Therefore, completion of the Corporate Park greenway trail required by the CDP and linkage back to Air Tool Drive should be linked to this PDP.

In a meeting on August 8, 2024, with the property owner, Planning staff discussed Criterion 2 and 6 and linking the greenway trail to this PDP application. The property owner is working on trail design, currently, and actively corresponding with Town staff as of the writing of this staff report. The property owner was amenable to a condition of approval on this application that requires the greenway to be built or bonded prior to occupancy of the distribution center. The authorized agent for the applicant also stated being agreeable to a proposed draft condition of this nature.

ii. Consistency with the Conceptual Development Plan (CDP) and the Unified Development Ordinance (UDO)

Proposed Land Uses

The proposed PDP is for a package distribution center with storage and office spaces where packages/fulfillment orders are received, sorted, and delivered. This includes the following land uses classes, which are all permitted industrial uses within the Corporate Park: a mail order/direct selling establishment (i.e.,

LBCS 2144), office and warehousing (i.e., LBCS 3610), warehousing (i.e., LBCS 3620), courier and messenger services (i.e., LBCS 4160), and postal services (e.g., LBCS 4170).

Traffic Analysis, Site Access, and Air Tool Drive

Planned Development districts are “*intended to allow mixed-use Developments in areas where... the street system is adequate (or can be readily improved) to handle the projected traffic volumes generated by the Development.*” A Traffic Impact Analysis has been submitted for the PDP. The TIA preparer, Kimly-Horn, stated that “the proposed Air Tool Drive Industrial site is not expected to have a significant adverse impact on operations at the off-site study area intersections; therefore, no additional mitigation improvements beyond the necessary laneage required for site access... is recommended to accommodate the proposed Air Tool Drive Industrial site.” The recommended “laneage” (i.e., study area improvements) include 1) improving Air Tool Drive to Town standards, which includes construction of sidewalk along Air Tool Drive, and 2) installation of shared-use path, per Southern Pines Comprehensive Plan.

As mentioned in the TIA, the private portion of Air Tool Drive will need to be completed to the Town’s street standards and the bridge properly inspected and improved (if necessary) prior to occupancy of the distribution center (see Figure 6 showing existing conditions). On July 15, 2024, the applicant stated to Town staff that the required improvements to Air Tool Drive will be the responsibility of the property owner and that paving will occur concurrently with site paving. A copy of a proposed condition for the Air Tool Drive improvements has been provided to the authorized agent and the property owner for review.

Fire Safety

The Fire Department provided feedback at the Technical Review Committee on July 23, 2024, stating that the 20’ drive aisle adjacent to the queuing and loading area was removed from the concept drawing reviewed by the Technical Review Committee on May 21, 2024 (i.e., file #PA-20-24). The Fire Department must have direct access to the back of the building that is at least 20’ wide and not encumbered by queuing or loading lanes/spaces. Based on a meeting with the applicant and authorized agent on August 1, 2024, and as described in the updated narrative, the queuing lanes in the rear of the building will not be used for parking and will allow for at least 20’ of fire access to the rear of the building. The applicant’s narrative under the Parking section provides some operational context regarding this Fire-related concern.

Loading Zones

According to UDO Exhibit 4-8, a minimum of 2 spaces is required for loading and unloading. The applicant is providing 72 loading, queuing, and linehaul parking/queuing spaces, and is therefore beyond the minimum required. No concerns related to compliance with UDO §4.5.13 nor 4.10.4(I) have been identified at this time. Additional standards relating to loading and unloading areas, such as—but not limited to—spacing dimensions and screening, will be verified during site plan review.

Figure 6. Air Tool Drive Existing Improvements



Parking

There are three parking and bicycle parking standards that apply to the proposed land uses within the distribution center, as shown in Table 1. The PDP is well above the required minimum parking for vehicles, but is 13 spaces short of the bicycle parking space requirement. The applicant’s narrative states that, “No bicycle spaces are required per UDO Exhibit 4-6. However, one will be provided for the facility.” This is not consistent with UDO Exhibit 4-6.

Table 1. Parking Requirement Analysis and Compliance

Land Use	Minimum Required Vehicle Parking Spaces	Provided Vehicle Parking Spaces	Minimum Bicycle Parking Spaces	Provided Bicycle Parking Spaces
Warehouse and outdoor storage facilities	Standard 1: 1 space for every two employees on the maximum shift but not less than 1 space per 5,000 square feet of area devoted to storage (whether inside or outside), i.e., 96 spaces	168 employee parking spaces (for an anticipated 192 max. shift count) +	1 space per 5,000 square feet of floor area, i.e., 12 spaces	0
Couriers, package delivery, and postal services				
Gross Floor Area: 61,098 square feet²	Standard 2: 1 space per 200 square feet of Gross Floor Area, i.e., 305 spaces	126 delivery vehicle parking +		
Other professional offices (4,103 square feet of gross floor area)	1 space per 400 square feet of Gross Floor Area, i.e., 10 spaces	72 loading, queuing, and linehaul parking/queuing spaces	1 space per 5,000 square feet of floor area, i.e., 1 space	0
TOTAL	If averaging warehouse and courier space, 211 parking spaces Without averaging, no less than 106 spaces	294 vehicle parking spaces, or 366 spaces including queuing spaces	13 spaces	0

High-Quality Water Protection Overlay Standards

According to Town of Southern Pines Planning Department records, no 5/70 exemption allocation has been provided to the Corporate Park, nor has a watershed protection permit been submitted as a part of this application. Therefore, the property is permitted to develop up to 24% impervious surface with appropriate stormwater management practices. A sand filter and wet pond

² Planning staff are unaware what square footage is exclusively for courier servicing and what square footage is exclusively for warehouse storage.

are proposed stormwater management facilities. The proposed built upon area is 50.7% (i.e., 9.37 acres of 18.48 acres) for the current PDP site area, but is not calculated for the entire Corporate Park, which is 104.79 acres (according to the prior development approvals, see Attachment 6).

There are six property owners for eight parcels within the Corporate Park. The following table shows what year buildings were built within the Corporate Park by parcel. Since none of the development pre-dates the watershed protection standards, which were adopted in 1993, then the entirety of the Corporate Park must apply for 5/70 allocation in order for the proposed development to be permitted to develop beyond 24%.

Planning staff estimate that with the proposed development and existing development, there will be approximately 16.5 acres built upon, which would be approximately 16% impervious surfaces for the entire Corporate Park. Therefore, this development is below the maximum built upon surface requirement. However, future development will likely require a Watershed Protection Permit.

Table 2. Built-Up Area Analysis for Watershed Protection Overlay Standards

Parcel Identification Number	Property Owner as of 08/2024	Year Built of Principal Structure	Approx. Built-Up Area
20071012	Lily Commercial, LLC	36,771 square feet in 2007 with an addition in 2022	3.5 acres (actual)
20160039	Lily Commercial, LLC	Wooded lot	0
00039569 (modified by this PDP)	RAB Investments, LLC	Wooded lot	9.37 acres (proposed)
00031777 (modified by this PDP)	RAB Investments, LLC	Wooded lot	
20200431	Palm Commercial Management, LLC	Wooded lot	0
20150334	Butternut Hickory, LLC	Industrial vacant lot	0
00039763	Baidan Group, LLC (i.e., Southern Pines Brewery)	57,394 square feet in 2007	3.5 acres (actual)
20200432	BAT Properties, LLC	Wooded lot	0

Subdivision of Land

A note that the proposed lot will most likely be an exempted subdivision, per North Carolina General Statute §160D-802, but a determination for subdivision classification will be made at the time of platting lots.

Summary

Following review of the Southern Pines Corporate Park CDP and the Planned Development District section in the UDO and based on statements made in the revised application materials (attached to this staff report), planning staff find three significant inconsistencies requiring commitments by the applicant, property owner, and/or any current or future Corporate Park covenants and restrictions. Three proposed conditions would address these inconsistencies and are proposed in the Planning Department's recommendation in Section IV below. Further detailed analysis of compliance with both the CDP and the UDO will involve representatives from all other Community Development departments (such as Streets, Engineering, Fire, etc.) and will occur during site plan and Architectural Compliance Permit review.

iii. Location in an area of town that is appropriate

The proposed development is located within the Southern Pines Corporate Park and located outside of wetlands, as identified by the United States Fish and Wildlife Service's GIS data and may not include ephemeral wetlands, which have not been verified by Planning staff. The Southern Park Corporate Park is where industrial land uses are anticipated to go within the Town of Southern Pines. A letter was submitted with the application from Village Appraisers, LLC, that states that states that the development will likely not cause "diminution in value as a result of the new improvements," based on data and professional experience of commercial real estate appraisers. Therefore, Planning staff finds that given the CDP, the location near a variety of existing and planned industrial land uses, and the Village Appraisers' letter, the proposed development is located in an appropriate area of town.

iv. Efficient extensions and expansions of public facilities, utilities and services

The water line shown on the Applicant's utility plans (i.e., Sheets C501 through C504 of Attachment 3) shows a proposed extension of water main lines along the proposed access road to the site with a fire water line looping around the building, (i.e., "ballooning"). The proposed waterline will need to loop back to lines on Air Tool Drive or Trimble Plant Road, which can be addressed during site plan review. There is an existing sanitary sewer line and easement along the proposed access road that connects back to Air Tool Drive. The applicant provided a letter dated June 28, 2024, from the Town's Public Works Department that states, "the Town's existing water and sewer systems have the overall system capacity to serve the project..." The applicant also provided an availability of service confirmation from Duke Energy for electricity and Piedmont Natural Gas for natural gas lines.

The property is served by all necessary utilities and transportation infrastructure and the development will bear the cost of all infrastructure modifications and/or extensions. Development of the subject property in the manner proposed is an efficient way to increase jobs and tax base, while providing for a more vibrant community atmosphere.

E. Cooperating Agency, Technical Review Committee Review, and Town Manager and Comments

Planning staff met with the Technical Review Committee (“TRC”) on July 23, 2024, and followed up with individual members via email. The TRC stated that sidewalks may only be on one side of the street if built to greenway standards, provide connectivity to streets, sidewalks, and greenways, and are reviewed by the Town Manager. The TRC stated that the proposed greenway should connect back from Air Tool Drive through the proposed utility easement and ought to connect with the proposed greenway in CDP Phase 2 of development. Furthermore, the Fire Department stated that they will need access to the rear of the building, and that the spaces shown on the PDP and in the renderings should not be used as parking. The applicant is required to create access to the rear of the building.

The Town Engineer stated that the proposed access road must tie into a road that is built to the Town’s street standards that is ready for regular traffic (as stated in the TIA) and the bridge has to be properly inspected and improvements made, if necessary, prior to occupancy of the proposed building. The Town Engineer also stated that he does not recommend that the Town accept the to-be-improved portion of Air Tool Drive unless it meets all of the Town standards. Nor does he recommend accepting the proposed, unnamed access road until there are other tenants accessing that road other than the WNC8 Distribution Center’s end user.

A request for comments was emailed to agencies on August 2, 2024. Agencies notified include Town of Southern Pines Streets, Utilities, Fire, Recreation and Parks, and Engineering departments, the Regional Land Use Advisory Commission (RLUAC), U.S. Fish and Wildlife Service (USFWS), Moore County Airport and the North Carolina Department of Transportation (NCDOT). Comment was received back from RLUAC indicating that the site is designated as important to protect in the Fort Liberty Compatible Use Rating system considering its location within the Mill Creek high-quality watershed management area (see Attachment 7 and Attachment 3 Sheets C402 and C403).

IV. PLANNING DEPARTMENT RECOMMENDATION

The Planning Department recommends approval of file #PD-04-24 with the following conditions, if the open space exhibit and calculations are updated prior to the evidentiary hearing:

1. Prior to issuance of a Certificate of Occupancy, the portion of Air Tool Drive under private ownership and maintenance shall be improved and built to the Town of Southern Pines standards for streets and the existing bridge shall be inspected and proposed improvements made, if necessary.
2. Prior to issuance of a Certificate of Occupancy, the 3,731 linear feet of required greenway trail within Phase 2 of development (per file #CU-03-06 and file #Z-01-14)) shall be constructed or a financial surety secured, submitted to the Town of Southern Pines, and accepted by the Town of Southern Pines.
3. The proposed development shall include 13 bicycle parking spaces to comply with the Unified Development Ordinance Exhibit 4-6: Minimum Number of Required Parking Spaces for professional office, courier, and package delivery standards.

V. ATTACHMENTS

The following materials are provided as attachments to this staff memorandum:

1. Preliminary Development Plan Application
2. Preliminary Development Plan Narrative
3. Preliminary Development Plan Site Plan, Stormwater, and Utilities
4. Building Elevations and Renderings
5. Supporting Documentation (i.e., Traffic Impact Analysis Executive Summary, Impact on Property Values, and Access to Services)
6. Prior Development Approvals
7. Agency Comment

Additional documents related to this application including (but not limited to) property deeds, plan detail sheet, full traffic impact analysis and appraiser analysis, email correspondence, meeting minutes and adjacent property notification records are on file in the Town of Southern Pines Planning Office and available for public inspections during normal business hours.

VI. PLANNING BOARD ACTION:

Pursuant to North Carolina General Statute §160D-301(b)(6) and Unified Development Ordinance §2.5.2, the Planning Board may hold a Preliminary Forum on a matter requiring a quasi-judicial decision by the Town Council. However, no part of the forum or any recommendation may be used as a basis for the deciding board.

Therefore, the Planning Board may wish to use the following motion to identify issues to bring to the attention of the Town Council at the evidentiary hearing.

I move to adopt the following for transmission to the Town Council as a result of the August 22, 2024 Preliminary Forum on application PD-04-24, Southern Pines Ace Hardware:

The information presented at the forum indicated that the following issues be considered in applying the criteria for a PDP to application PD-04-24:

- 1.

In addition, the following concerns were raised during the forum, but do not seem to apply in determining whether the PDP criteria are satisfied:

- 1.



Planned Development District Preliminary Development Plan Application

Fee: \$ _____ Date Received: _____ Case No.: PD-____-____

Project Information:

Project Name: WNC8 - Distribution Center

Physical Address: Air Tool Drive, Southern Pines, NC 28387

PIN: 858200843785

Parcel ID: 00039569

Site Size: 15.79

Zoning: Planned Development (PD)

Applicant:

Name(s): Patrick Theodossiou, SunCap Property Group

Email: PTheodossiou@suncappg.com

Phone: 252-229-2501

Mailing Address: 6101 Carnegie Blvd. Charlotte, NC 28209

Authorized Agent, if different from Applicant:

Name(s): Bob Koontz, Koontz Jones Design

Email: bkoontz@koontzjones.com

Phone: 910-639-4058

Mailing Address: 140 Applecross Rd, Southern Pines, NC 28374

Legal Property Owner(s), if different from Applicant:

Name(s): RAB INVESTMENTS, LLC

Email: CJ@OCONNORCONC.COM

Phone: 910-315-7052

Mailing Address: PO BOX 4406, PINEHURST, NC

1/12/22

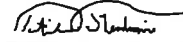
TO THE TOWN OF SOUTHERN PINES PLANNING BOARD AND TOWN COUNCIL:

I, the undersigned, do hereby make application to and petition the Planning Board and Town Council for approval of a Planned Development District – Preliminary Development Plan as required by the Town of Southern Pines Zoning Ordinance. The following information is submitted in support of this application:

The property which is the subject of this application is located on the NORTH side of YADKIN RD (St./Ave.), between AIR TOOL DR (St./Ave.) and TRIMBLE PLANT RD (St./Ave.). The property has a frontage of 165 feet and a depth of 770 feet.

The request is based upon **Section 2.18.5** of the **Town of Southern Pines Unified Development Ordinance**. The proposed use of the property is as follows:
Distribution Center

Date: 7/8/24



Applicant

**PLANNING DEPARTMENT
TOWN OF SOUTHERN PINES
801 SE Service Road, Southern Pines, NC 28387
plan@southernpines.net (910) 692-4003 www.southernpines.net**

1/12/22

APPOINTMENT OF AGENT

The undersigned owner(s), RAB INVESTMENTS, LLC, hereby appoint(s) Bob Koontz as the exclusive agent for the purpose of making an application to the Town of Southern Pines for the approval of the Planned Development District – Preliminary Development Plan described in the attached application. The owner(s) hereby agree(s) that this agent has the authority to act for and on behalf of the owner(s) as follows:

1. to submit an application and required supplemental materials;
2. to appear at public meetings and give representation and comments on behalf of the owner(s);
3. to accept conditions or recommendations made by the Town of Southern Pines Town Council for the approval of a Planned Development District – Preliminary Development Plan; and
4. to act on behalf of the property owner(s) without limitations with regard to any and all things directly or indirectly connected with or arising out of any application for a Planned Development District -Preliminary Development Plan under the Southern Pines Unified Development Ordinance.

This Appointment of Agent shall remain in effect until final resolution of the attached application.

Signed this 2nd day of July, 2024.



Property Owner

Property Owner



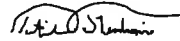
Agent

APPOINTMENT OF AGENT

The undersigned owner(s), Patrick Theodossiou, hereby appoint(s) Bob Koontz as the exclusive agent for the purpose of making an application to the Town of Southern Pines for the approval of the Planned Development District – Preliminary Development Plan described in the attached application. The owner(s) hereby agree(s) that this agent has the authority to act for and on behalf of the owner(s) as follows:

1. to submit an application and required supplemental materials;
2. to appear at public meetings and give representation and comments on behalf of the owner(s);
3. to accept conditions or recommendations made by the Town of Southern Pines Town Council for the approval of a Planned Development District – Preliminary Development Plan; and
4. to act on behalf of the property owner(s) without limitations with regard to any and all things directly or indirectly connected with or arising out of any application for a Planned Development District -Preliminary Development Plan under the Southern Pines Unified Development Ordinance.

This Appointment of Agent shall remain in effect until final resolution of the attached application. Signed this 8th day of July, 2024.



Property Owner

Property Owner



Agent

August 6, 2024

**WNC8 DISTIBUTION CENTER
PRELIMINARY DEVELOPMENT PLAN (PDP) NARRATIVE**

The development of the property described as WNC8 Distribution Center in the submitted exhibits will be completed as a stand-alone distribution center. The subject site totals 15.42 acres of land within the Southern Pines Corporate Park. All information, descriptions, and calculations included in this application are related to the development of this parcel of property.

This phase of the Southern Pines Corporate Park will include the development of a single $\pm 66,000$ SF distribution center, including truck staging areas and adequate truck and employee parking facilities. The distribution center will be accessed from a new road constructed to connect to Air Tool Drive. The overall character of the development will follow the standards set forth in the approved CDP (Z-01-14) for buildings and site development, as well as landscaping and buffering standards included in the Town's Unified Development Ordinance (UDO). The site will be developed in a manner consistent with other developments within the Corporate Park.

From the text taken from the CDP, which includes language from the original Conditional Use Permit, "the Corporate Park was established and intended to accommodate large-scale campus type development containing uses that include light industrial, manufacturing, distribution, storage oriented, and large facility uses." The proposed distribution center fits within the structure of the original approvals and the ongoing vision for the property.

This proposed PDP is consistent with the Town's Comprehensive Plan (SPCP) and promotes its objectives, as described above. The SPCP designates the property as an Employment Center and recommends Industrial and Office uses for the property. The proposed distribution center will be similar in scale and size to other facilities in the Southern Pines Corporate Park. The approved CDP also allows and encourages these types of facilities within the Corporate Park limits. The proposed PDP complies with the standards as established in the approved CDP and Southern Pines UDO.

The project falls within the Cape Fear, Little River (Intake No. 2) - WSIII watershed, which is designated as a high-quality watershed. A watershed protection permit was approved by the Town of Southern Pines during the CDP process, and this project will fall below the approved 70% impervious surface maximum. Per the information in the Green Growth Toolbox, no red-cockaded woodpecker active or inactive foraging areas are located on the property. There are no floodplains on the property. The property is surrounded by wetland areas. However, the site plan and roadways have been designed to avoid any wetland impacts. The project will comply with all general notes and standards included in the approved Southern Pines Corporate Park (CDP), which was approved on May 13, 2024.

Design standards for individual elements of the development are described below.



- **Pedestrian Connectivity**

- Pedestrian access will be provided to the site via a required sidewalk or multi-modal path. Pedestrian ways will be located within the road right-of-way or just off the property and road right-of-way to avoid conflicts and provide a walking environment separated from truck traffic. These pedestrian facilities will continue the character of the existing infrastructure within the Corporate Park.
- A multi-modal path will be constructed just off the property to the northeastern corner of the property. The trail will be located in a location that will allow connection to the future corporate park greenway trail, which will be constructed by the owner of the business park. Access to construct the future greenway trail connection, if necessary, will be permitted at such time as the trail is constructed.
- Sidewalks will be provided throughout the facility to connect parking and loading areas to the facilities.

- **Parking**

- Parking areas will be designed and landscaped per the Town of Southern Pines Unified Development Ordinance standards in Section 4.5.
- Parking views will be screened from adjoining roadways as required by the Town of Southern Pines UDO and approved CDP documents
- No bicycle spaces are required per UDO Exhibit 4-6. However, one will be provided for the facility.
- The facility is parked to the end-users' standards based on the number of employees and the operations specifically tailored to the building size and operation. Below is a description of the facility operations and a description of how the parking, loading, and other vehicular areas are utilized within the facility:

Last mile delivery facilities power the last mile of the end-user's customer order process to drive convenient and efficient package delivery to the end-user's customers.

As denoted in the term "last mile", the delivery facility is the last stop that the package makes before arriving at the customer's doorstep. Delivery facilities operate 7 days a week pursuant to a designated daily operations clock. The operations start with the arrival of packages from the end-user's network of first- and middle-mile facilities. These packages are pre-labeled for customer delivery and arrive at the site via tractor trailers, mainly overnight. As the packages arrive, company employees receive the packages and use material handling equipment to sort the packages by delivery route, and then stage them for pick up by delivery partners.

Deliveries to the customer from this delivery facility will be supported by two types of delivery partners: 1) small-business owners that employ drivers who deliver packages in company branded vans ("Drivers"), 2) individuals who use their personal vehicles to deliver packages ("Partners"). Drivers will arrive on site at approximately 8:30am to pick up the packages for their designated delivery routes. Drivers park their personal vehicles in the dedicated van driver parking area, proceed to the van parking area to enter their assigned delivery van, and then drive to the dedicated package loading area. Partners will enter the site and proceed directly to the package loading area.

The load-out process, which is supported by company employees and Driver managers, is structured to minimize impact on the roadway during peak

commuter hours. For optimal efficiency, the loading and dispatch operations occur in waves, with Drivers loading up and departing in approximate 20 to 30-minute intervals. Partners typically deliver to customers within a 45-minute drive time, and standard delivery routes run approximately 8-10 hours for Drivers and 3-6 hours for Partners. Once the last wave of Drivers has departed the station, company employees prepare the delivery facility for receipt of the next day's packages.

Partners do not return back to the delivery facility after completing their deliveries, unless they have undelivered packages. Drivers return to the station. After completing a checkout process, they exit the site in their personal vehicle or by public transport. The same 24-hour operations process is repeated daily.

- **Streets and Access**

- Main access to the property will be provided from a new road that will be constructed by the developer to connect the site to Air Tool Drive. Air Tool drive has not been accepted by the Town. Prior to obtaining a Temporary or Final Certificate of Occupancy for this project, Air Tool Drive will be completed, by others, to provide safe and legal access and offered for dedication to the Town.
- Plans for the new road will generally follow the previously approved plans and the property's CDP. This new road is intended to be offered for dedication to the Town.
- A Traffic Impact Analysis (TIA) has been submitted with this application.
- Fire Department access will be provided around the entire building as coordinated with the Fire Marshal.

- **Landscaping**

- Landscaping will be provided as required by the Town of Southern Pines UDO in Section 4.3. This will include tree islands, parking lot landscaping, and streetscape plantings meeting the standards for vehicle-use areas. The applicant will provide detailed calculations for landscaping during the detailed site plan submission to meet the Town's UDO requirements.
- Screening and buffer plantings will follow the guidelines and standards as approved in the CDP and UDO.
- A visual analysis has been provided for the development showing the relationship to the adjoining property. The adjoining use is the Hamilton Beach manufacturing facility. The proposed distribution center backs up to the loading and shipping dock of the facility, and there are approximately 110' of dense existing trees and vegetation separating the two facilities, as shown in the analysis. In addition, the rear of the loading dock on the Hamilton Beach property is more than 230' from the property boundary. Due to this on-site condition, the applicant would provide standard buffer plantings along this property boundary rather than the increased buffer area.

- **Lighting**

- All lighting on the property will follow Section 4.8 of the CDP and Section 4.2.6 of the CDP. Lighting levels along streets and in parking areas will be provided to meet the UDO standards for safety and match the existing community. Proposed lighting fixtures will match previous phases of development. All light will be projected downward to limit any light spilling onto adjacent properties.

- **Open Space**

- Required open space for the overall Corporate Park as designated in the CDP is 20%. A minimum of 10% of the provided open space shall be usable open space

as described in section 3.5.14 of the UDO. While no open space is required for each individual phase of the development, the overall development must meet the open space requirements.

- +/- 4.76 acres (+/- 30.9%) of the property will remain open space, as shown on sheet C301 of the PDP documents. None of the open space provided will be considered usable; however, the applicant will construct a multi-modal path just off the property boundary to connect with the future trail system within the business park. These open space areas can be added to the overall Corporate Park area tabulations.

- **Stormwater**

- The property is located within a state-regulated and protected drainage basin. As such, stormwater design will fully comply with all aspects of applicable local and state standards and regulations for stormwater management and watershed protection, including specific requirements for erosion and sedimentation control. Best management practices for each phase shall be utilized at the time of development in accordance with NCDEQ guidance. Stormwater must be maintained on the overall property to meet the Town of Southern Pines, NCDEQ, and any other stormwater regulations.
- Stormwater will be contained on-site in two management areas at each end of the site. All facilities will be designed per the Town of Southern Pines and NCDEQ standards.
- Detailed plans and calculations will be provided during the detailed site engineering process to ensure the stormwater is maintained appropriately on site.

- **Utility Service**

- Adequate water and sewer service can be provided by the Town of Southern Pines to serve this development. Utility extensions along Air Tool Drive were installed with the completion of the roadway. Utility extensions will be constructed along the new roadway and access drive to serve the property. All utilities on the site and within the new road right-of-way will be located underground and installed per the policies of the local utility providers and the Town of Southern Pines.

- **Buffers/Setbacks**

- The setbacks for the property will follow the standards set forth in the approved CDP. Those standards follow the Industrial land use standards of the Town's UDO.
- Landscape buffer planting areas of 10' have been provided along all parking boundary areas and meet the Town's UDO standards in Section 4.3.
- Retaining walls will follow the UDO standards for industrial setbacks. Retaining walls greater than 6' in height will be a minimum of 20' from the property boundary.
- The applicant intends to meet Section 5.12 for the buffering of outside storage by maintaining existing vegetation and landscape plantings rather than providing a fence or wall to screen the vehicles. The area shown on the plan for vehicular storage is simply an area where vans will be parked when not being utilized for deliveries or loading. These vehicles are constantly in motion for deliveries and are often moved during normal operation. The parking area is located no closer than 50' from the adjoining industrially zoned property.

- **Architectural Character**

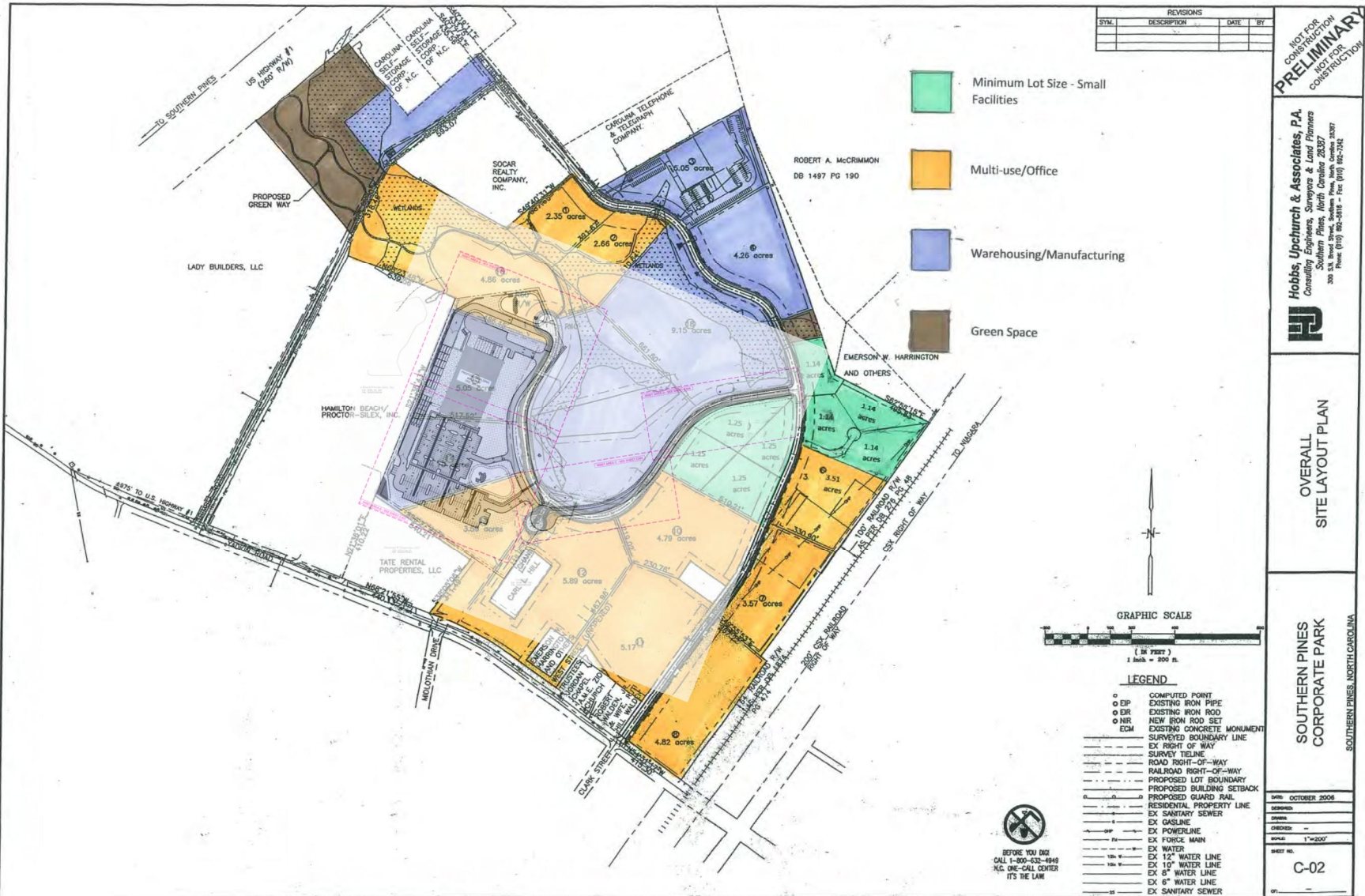
- The proposed buildings will be required to meet the standards of the commercial building design guidelines described in Section 4.10 of the Town of Southern Pines UDO for industrial design.

- **Signage**

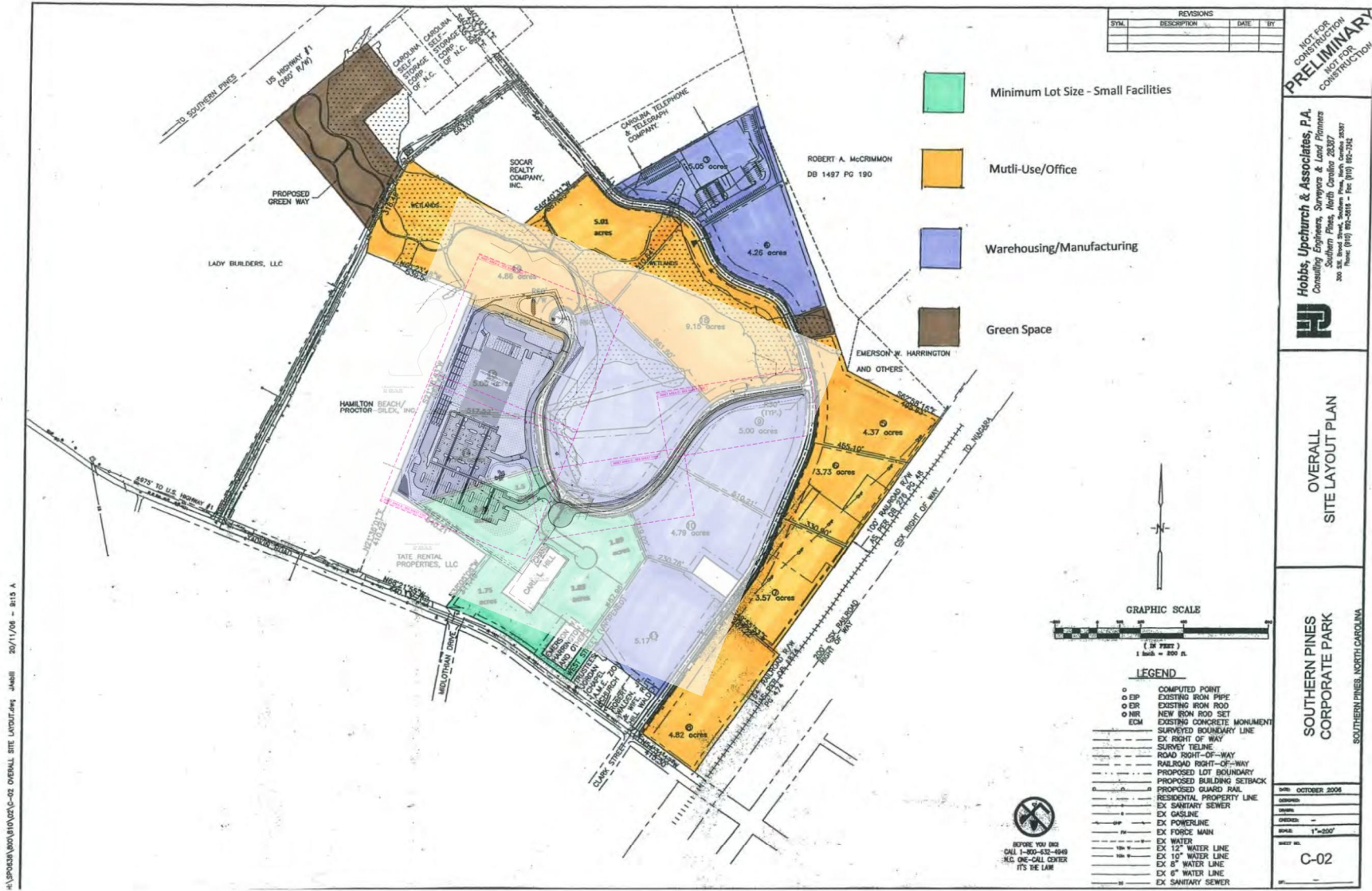
- All signage will be designed in conformance with the requirements of the Town of Southern Pines UDO in Section 4.6.
- Signage internal to the development may be provided throughout the property for area identification and wayfinding purposes.
- Building-mounted signage will be permitted per Section 4.6 of the UDO.

The descriptions and conditions described above will apply to the development as indicated in the Preliminary Development Plan document. The proposed plan utilizes the CDP's development standards and implements a new phase of the Southern Pines Corporate Park, which meets the standards of the Southern Pines Corporate Park CDP. Should the CDP be amended, any standards indicated on the attached plans may be amended to accommodate the revised standard without requiring amendment to these PDP documents.

Conceptual Plan- Option: 2



Conceptual Plan- Option: 4



NOT FOR CONSTRUCTION
PRELIMINARY
NOT FOR CONSTRUCTION

Hobbs, Upchurch & Associates, P.A.
 Consulting Engineers, Surveyors & Land Planners
 Southern Pines, North Carolina 28387
 300 S.E. Wood Street, Southern Pines, North Carolina 28387
 Phone: (910) 692-8888 • Fax: (910) 692-0242

OVERALL
SITE LAYOUT PLAN

SOUTHERN PINES
CORPORATE PARK

DATE: OCTOBER 2008
 DRAWN: []
 CHECKED: []
 SCALE: 1"=200'
 SHEET NO.: C-02

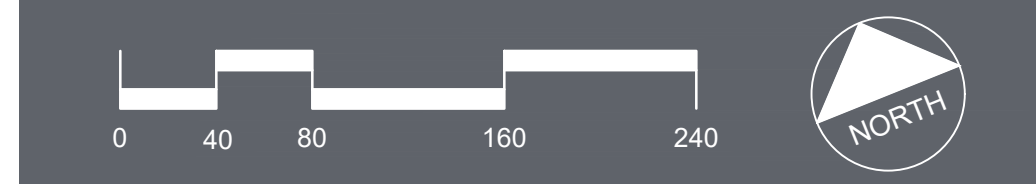
Plotted By: Flip, Austin, Sheet Set: WNC8 - Layout: C301 - SITE OVERALL August 05, 2024 04:31:40pm K:\CHL_PRA\015634 SunCap Property Group\042 WNC8 Southern Pines\02 - DWG\Exhibit\08 Open Space\Open Space.dwg



LEGEND	
	OPEN SPACE - 4.63 ACRES (201833 SF)

OPEN SPACE SUMMARY - WNC8 SOUTHERN PINES

SITE AREA		15.77	acres
CATEGORY	REQUIRED	PROVIDED	TOTAL REMAINING TO PROVIDE
Overall Open Space	20.96 acres (20%)	4.63 acres	16.33 acres
Usable Open Space	10.48 acres (10%)	0.00 acres	10.48 acres



PRELIMINARY DEVELOPMENT PLAN for

WNC8

AIR TOOL DRIVE

SOUTHERN PINES, MOORE COUNTY, NORTH CAROLINA 28387

UTILITY AND GOVERNING AGENCIES
CONTACT LIST:

WATER COMPANY
TOWN OF SOUTHERN PINES
RON ISTRE
801 SE SERVICE RD
SOUTHERN PINES, NC 28387
(910) 692-1983

SANITARY SEWER COMPANY
TOWN OF SOUTHERN PINES
RON ISTRE
801 SE SERVICE RD
SOUTHERN PINES, NC 28387
(910) 692-1983

FIRE MARSHAL
TOWN OF SOUTHERN PINES
MIKE CAMERON
500 W PENNSYLVANIA AVE
SOUTHERN PINES, NC 28387
(910) 692-2720

EROSION CONTROL
TOWN OF SOUTHERN PINES
JAMES MICHEL
801 SE SERVICE RD
SOUTHERN PINES, NC 28387
(910) 692-1983

POWER COMPANY
DUKE ENERGY
410 S WILMINGTON ST
RALEIGH, NC 27601
(866) 582-6345

CABLE COMPANY
LUMEN
2 RAVINIA DRIVE
ATLANTA, GA 30346
(877) 453-8353

DEPARTMENT OF TRANSPORTATION
NORTH CAROLINA DEPARTMENT OF TRANSPORTATION
(704) 436-9316

PLANNING DEPARTMENT
TOWN OF SOUTHERN PINES
BJ GRIEVE
801 SE SERVICE RD
SOUTHERN PINES, NC 28387
(910) 692-4003

ZONING DEPARTMENT
TOWN OF SOUTHERN PINES
BJ GRIEVE
801 SE SERVICE RD
SOUTHERN PINES, NC 28387
(910) 692-4003

PHONE COMPANY
LUMEN
2 RAVINIA DRIVE
ATLANTA, GA 30346
(877) 453-8353

GAS COMPANY
PIEDMONT NATURAL GAS
ANTONIO RICHARDSON
4720 CORPORATION DR
FAYETTEVILLE, NC 28306
(910) 321-2949



SITE LOCATION MAP

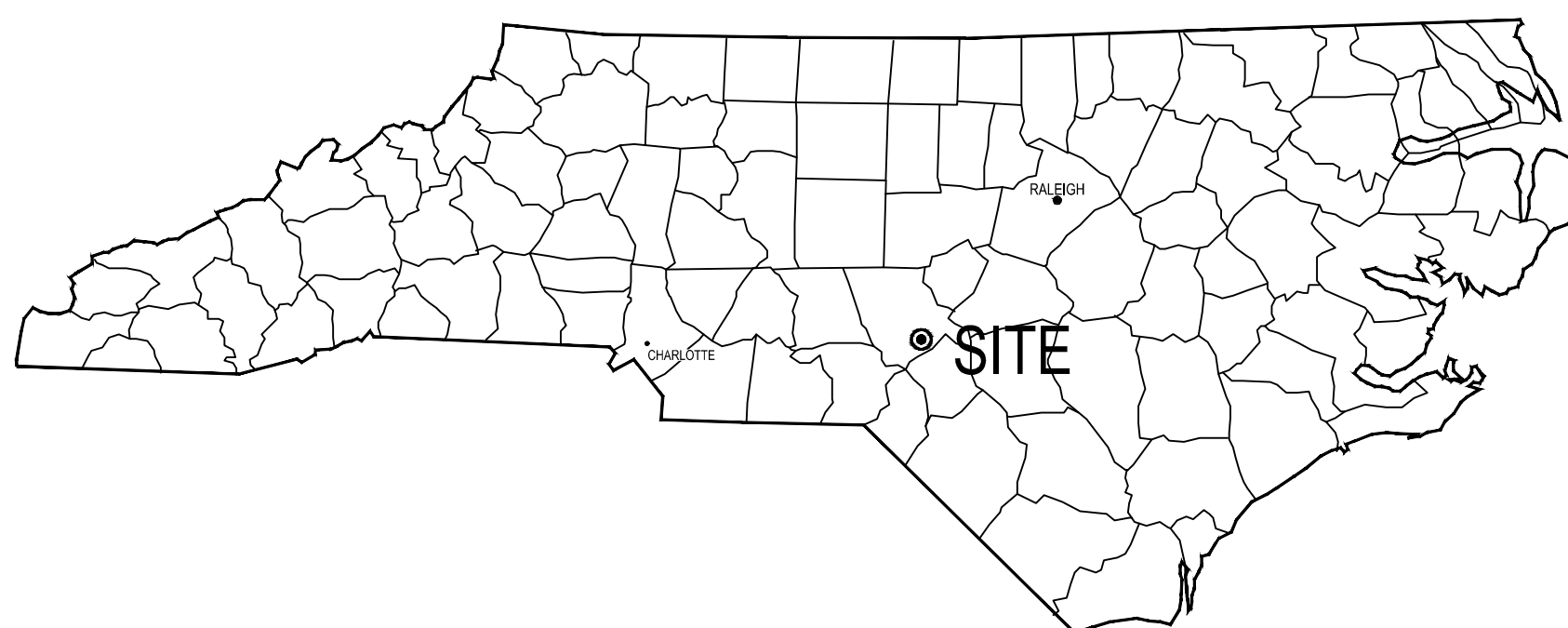
NOT TO SCALE

KIMLEY-HORN SHALL HAVE NO LIABILITY WHATSOEVER FOR ANY COSTS ARISING OUT OF THE CLIENT'S DECISION TO OBTAIN BIDS OR PROCEED WITH CONSTRUCTION BEFORE KIMLEY-HORN HAS ISSUED FINAL, FULLY-APPROVED PLANS AND SPECIFICATIONS. THE CLIENT ACKNOWLEDGES THAT ALL PRELIMINARY PLANS ARE SUBJECT TO SUBSTANTIAL REVISION UNTIL PLANS ARE FULLY APPROVED AND ALL PERMITS OBTAINED.

NOTICE TO CONTRACTOR:

ALL WORK AND MATERIALS SHALL CONFORM TO THE MOST CURRENT STANDARDS AND SPECIFICATIONS AS PROVIDED IN THE:
MOORE COUNTY UNIFIED DEVELOPMENT ORDINANCE
SOUTHERN PINES UNIFIED DEVELOPMENT ORDINANCE
NCDOT STANDARDS SPECIFICATIONS FOR ROADS AND STRUCTURES
OR THE MORE RESTRICTIVE OF ANY STANDARDS THAT CONFLICT.

Sheet No.	Sheet Title	REV. No.
C001	COVER SHEET	
C301	OVERALL SITE PLAN	
C302	SITE PLAN - AREA A	
C303	SITE PLAN - AREA B	
C304	SITE PLAN - AREAS C&D	
C401	OVERALL GRADING AND DRAINAGE PLAN	
C402	GRADING AND DRAINAGE PLAN - AREA A	
C403	OVERALL GRADING AND DRAINAGE PLAN - AREA B	
C404	GRADING AND DRAINAGE PLAN - AREAS C&D	
C501	OVERALL UTILITY PLAN	
C502	UTILITY PLAN - AREA A	
C503	UTILITY PLAN - AREA B	
C504	UTILITY PLAN - AREAS C&D	
C901	SITE DETAILS - (1)	



PROJECT OWNER AND CONSULTANT INFORMATION

DEVELOPER:
SUNCAP PROPERTY GROUP
6101 CARNEGIE BOULEVARD
SUITE 180
CHARLOTTE, NORTH CAROLINA 28209
PHONE (704) 945-4463

CONTACT: SCOTT MILNER

ENGINEER:
KIMLEY-HORN AND ASSOCIATES, INC.
200 SOUTH TRYON STREET
SUITE 200
CHARLOTTE, NORTH CAROLINA 28202
(704) 333-5131 TEL

CONTACT: ALLISON BRAGG, P.E.

SURVEYOR:
CORNERSTONE PROFESSIONAL LAND SURVEYING, PLLC
PO BOX 1296
MONROE, NORTH CAROLINA 28111
PHONE (704) 956-5611

CONTACT: NATHAN DUBOSE

ARCHITECT:
SGA DESIGN GROUP
1437 SOUTH BOULDER
SUITE 550
TULSA, OK 74119
PHONE (918) 587-8600
FAX (918) 587-8601

PRELIMINARY

GEOMETRIC CONTROL

HORIZONTAL DATUM:
NAD 83 (2011)

VERTICAL DATUM:
NAVD 88

DRAWING UNITS:
U.S. SURVEY FEET



Kimley >>> Horn
© 2024 KIMLEY-HORN AND ASSOCIATES, INC.
200 SOUTH TRYON ST. SUITE 200, CHARLOTTE, NC 28202
PHONE: 704-333-5131
WWW.KIMLEY-HORN.COM
NC LICENSE #P-102

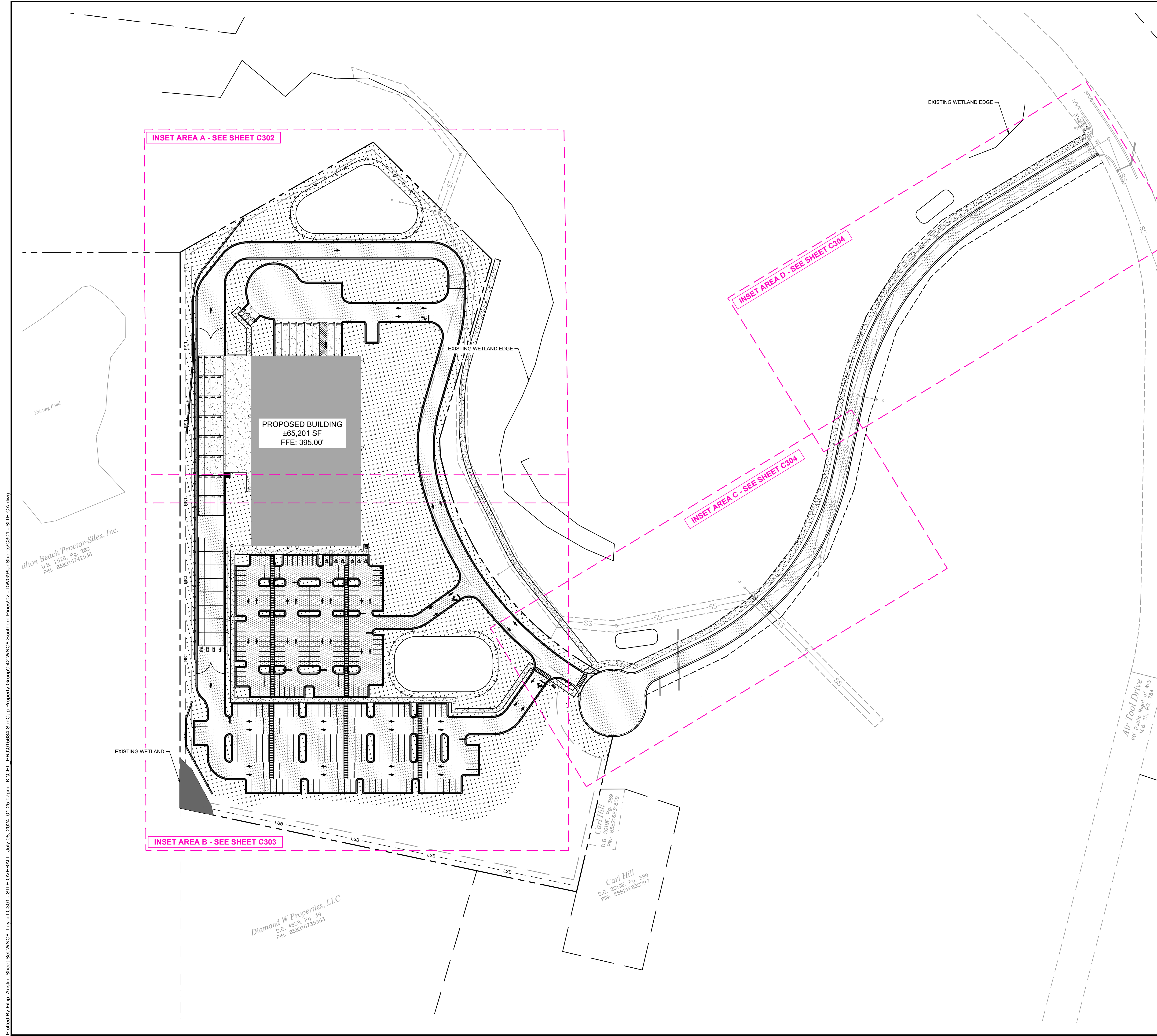
PRELIMINARY

KH PROJECT	015634042	DATE	07/08/2024
SCALE	AS SHOWN	DESIGNED BY	AJF
DRAWN BY	JH	CHECKED BY	ARE

COVER SHEET

WNC8
PREPARED FOR
SUNCAP PROPERTY GROUP
TOWN OF SOUTHERN PINES NC

SHEET NUMBER
C001



- SITE DEVELOPMENT PLAN NOTES**
- SEE "GENERAL NOTES" SHEET FOR SITE GENERAL CONSTRUCTION NOTES, PAVING, STRIPING, GRADING, AND ZONING NOTES.
 - SEE "EXISTING CONDITIONS" FOR COMPLETE BOUNDARY DESCRIPTION, ADJOINING PROPERTIES, ZONING AND USE.
 - SEE "SITE DETAILS" SHEETS FOR DETAILS REFERENCED ON THE SITE PLANS.
 - ALL DIMENSIONS SHOWN ARE MEASURED FROM THE FACE OF CURB TO FACE OF CURB, UNLESS OTHERWISE NOTED. DIMENSIONS LABELED "EOP" ARE MEASURED FROM LIP OF GUTTER TO LIP OF GUTTER.
 - DIMENSIONS TO THE BUILDING ARE MEASURED TO THE EXTERIOR OF THE FOUNDATION WALL UNLESS OTHERWISE SHOWN.
 - BEARINGS, DIMENSIONS AND EASEMENTS ARE SHOWN FOR REFERENCE. REFER TO RECORDED PLATS AND SURVEYS FOR ADDITIONAL PROPERTY INFORMATION.
 - CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.

SITE DATA TABLE		PARKING	
DEVELOPMENT DATA:			
TAX PARCEL ID	858200843785	REQUIRED PARKING (PARCEL SERVICES):	
DEED BOOK / PAGE NUMBER	3032 / 356	1 SPACE/400 SF OF OFFICE	11 SPACES
TOTAL SITE AREA	18.48 ACRES	1 SPACE/2 EMPLOYEES (19/2), NOT LESS THAN 1/5000 SF OF STORAGE	98 SPACES
TOTAL LOT AREA	15.77 ACRES	PROVIDED PARKING (PARCEL SERVICES):	
EXISTING LAND USE	VACANT	STANDARD PARKING:	168 SPACES
PROPOSED LAND USE	DISTRIBUTION CENTER	ASSOCIATE SPACES	158 SPACES
EXISTING BUILDING AREA	0 SF	ADA SPACES	6 SPACES
PROPOSED BUILDING AREA	65,201 SF	BOX TRUCK (PERSONAL)	4 SPACES
OFFICE AREA	4103 SF	BOXTRUCK SPACES	2 SPACES
STORAGE AREA	61098 SF	VAN LOADING	32 SPACES
CONSTRUCTION TYPE	TYPE IV	VAN QUEUING	32 SPACES
NUMBER OF UNITS	1 UNIT	LINEHAUL PARKING	2 SPACES
ZONING DATA:			
FEMA FLOOD PANEL	3710858200J	LINEHAUL DOCKING	6 SPACES
EFFECTIVE DATE	10/17/2006	PARKING (VEHICLE STORAGE):	
WATERSHED:	LITTLE RIVER	VEHICLE STORAGE SPACES	126 SPACES
EXISTING ZONING:	PLANNED DEVELOPMENT (PD)	SETBACKS/BUFFERS	
LAND USE:			
LAND DISTURBANCE	16.04 ACRES	REQUIRED SETBACKS:	
OPEN SPACE	4.76 ACRES (30.9%)	FRONT BUILDING SETBACK	40 FEET
USABLE OPEN SPACE	0 ACRES (0%)	REAR BUILDING SETBACK	20 FEET
IMPERVIOUS AREA	0 ACRES (0%)	INTERIOR SIDE BUILDING SETBACK	10 FEET
EXISTING	0 ACRES (0%)	EXTERIOR SIDE BUILDING SETBACK	15 FEET
PROPOSED	9.37 ACRES (50.7%)	REQUIRED BUFFERS:	
PROPERTY DEVELOPMENT STANDARDS:			
MINIMUM LOT SIZE	50,000 SF	RESIDENTIAL	80 FEET
OPEN SPACE MINIMUM	20%	INDUSTRIAL	20 FEET
USABLE OPEN SPACE	50% OF OPEN SPACE	BUSINESS	10 FEET
MAXIMUM HEIGHT	50 FEET	SINGLE-FAMILY RESIDENCE	30 FEET
MAXIMUM SITE COVERAGE	70%		

PROPOSED PROPERTY LEGEND

---	PROPERTY LINE
---	EXISTING RIGHT-OF-WAY
---	PROPOSED BUILDING SETBACK
---	PROPOSED DRAINAGE EASEMENT
---	LANDSCAPE BUFFER

GRAPHIC SCALE IN FEET
0 40 80 160

NORTH

811
Know what's below.
Call before you dig.

KH PROJECT 015634042	DATE	07/08/2024	SCALE	AS SHOWN	DESIGNED BY	AJF	DRAWN BY	JH	CHECKED BY	ARE
	<p>PRELIMINARY</p> <p>OVERALL SITE PLAN</p> <p>WNC8 PREPARED FOR SUNCAP PROPERTY GROUP TOWN OF SOUTHERN PINES NC</p> <p>SHEET NUMBER C301</p>									

Kimley-Horn
© 2024 KIMLEY-HORN AND ASSOCIATES, INC.
200 SOUTH TRYON ST. SUITE 200, CHARLOTTE, NC 28202
PHONE: 704-333-5131
WWW.KIMLEY-HORN.COM
NC LICENSE #F-102

Plotted By: Philip, Austin Sheet Set: WNC8 Layout: C301 - SITE OVERALL July 08, 2024 01:25:07pm K:\CHL_P\015634_Suncap_Property_Group\042_WNC8_Southern_Pines\02 - DWG\PlanSheets\C301 - SITE_OA.dwg

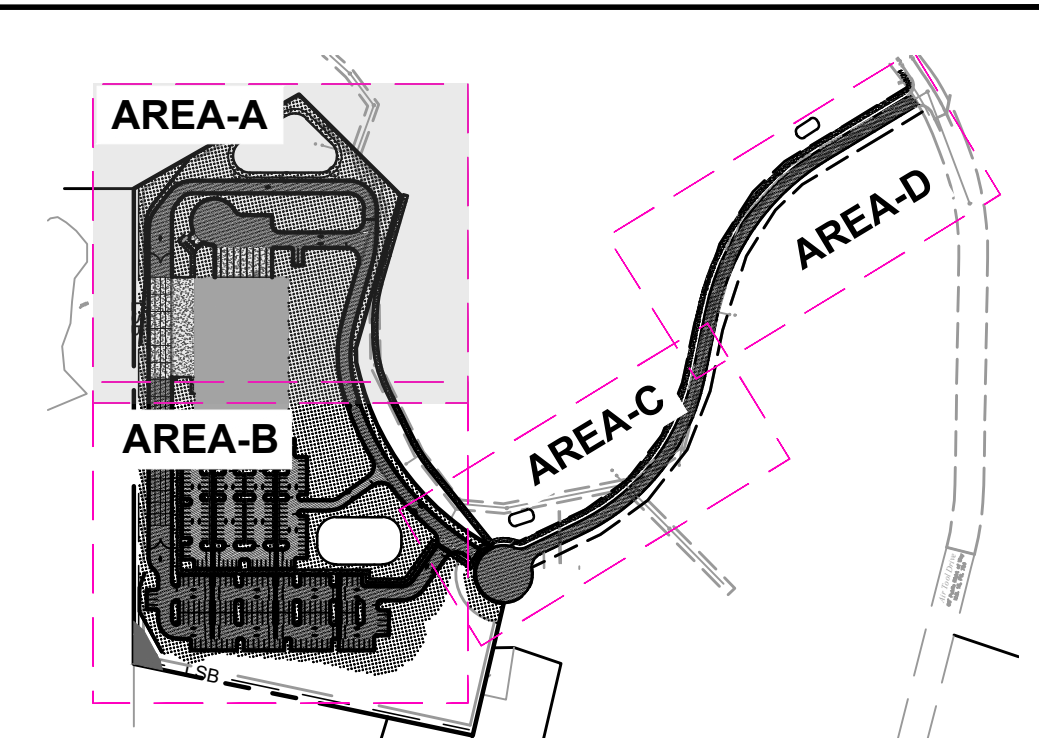
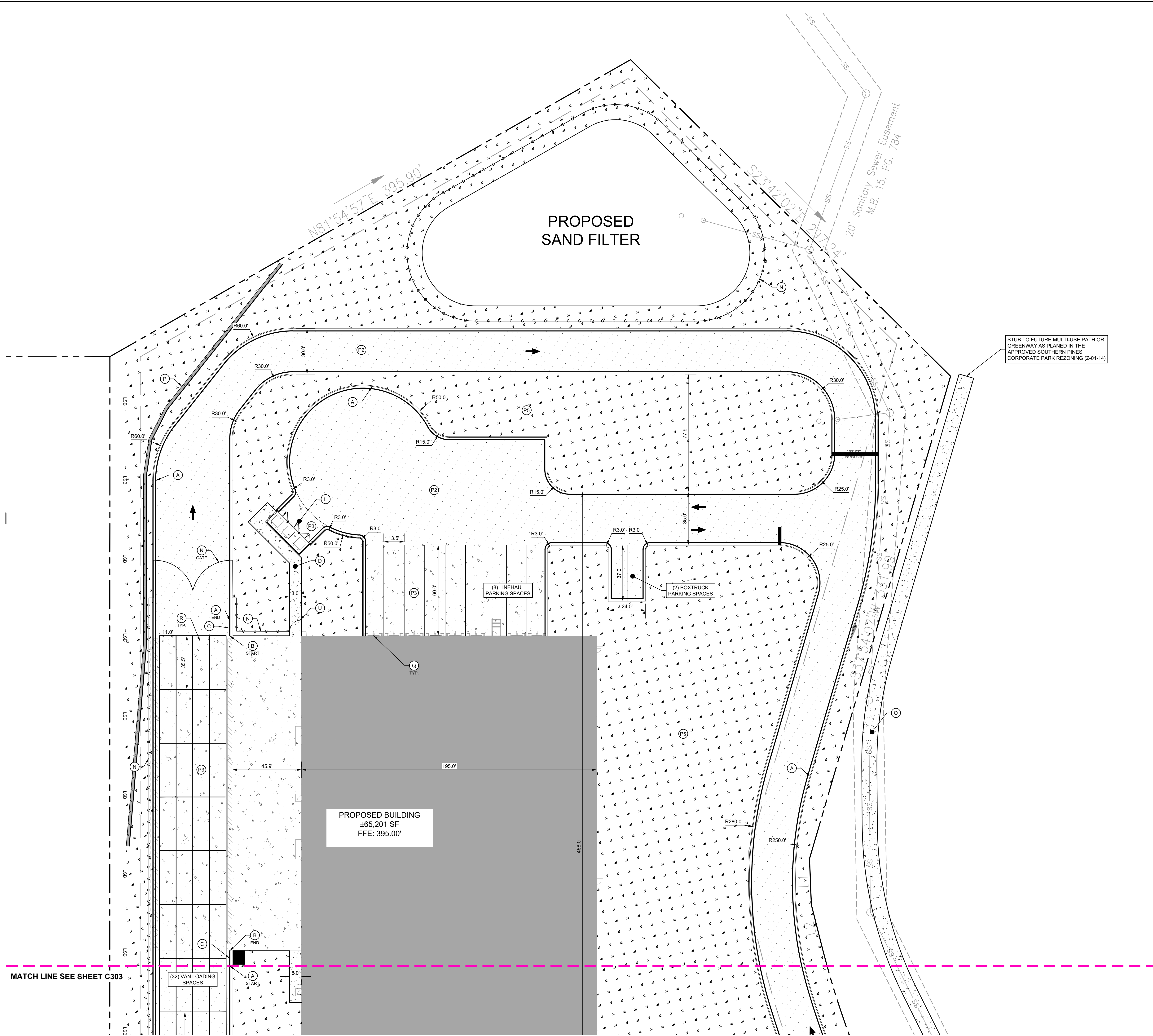
Wilson Beach/Proctor-Silex, Inc.
D.B. 2526, Pg. 280
PIN: 858215742538

Diamond IV Properties, LLC
D.B. 4638, Pg. 39
PIN: 858216735953

Carl Hill
D.B. 2019E, Pg. 389
PIN: 858216837699

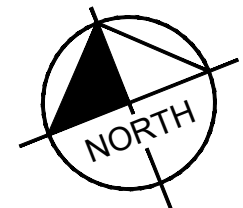
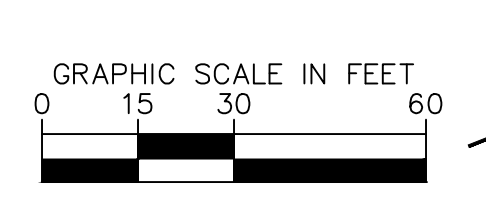
Carl Hill
D.B. 2019E, Pg. 389
PIN: 858216830797

Plotted By: Phillip, Austin Sheet: WNC8 Layout: C302 - SITE AREA A July 03, 2024 11:17:56am K:\CHL_P\1015634_SunCap_Property_Group\042_WNC8_Southern_Pines\02 - DWG\PlanSheets\C302 - SITE AREAS.dwg



SITE PLAN KEY NOTES	
1.	SEE "GENERAL NOTES" SHEET FOR SITE GENERAL NOTES.
2.	SEE "OVERALL SITE PLAN" FOR SITE DEVELOPMENT NOTES AND SITE DATA INFORMATION.
3.	SEE "SITE DETAIL" SHEETS FOR DETAILS REFERENCED ON THE SITE PLANS.
SITE IMPROVEMENTS	
(A)	STANDARD 24" CURB AND GUTTER
(B)	FLUSH CURB USED AT CANOPY, LENGTH PER PLAN, TRANSITION TO STANDARD 6" CURB HEIGHT OVER 10' PER PLAN.
(C)	CURB END TRANSITION
(D)	CONCRETE SIDEWALK PER DETAIL, WIDTH PER PLAN, 2% MAX. CROSS SLOPE, 5% MAX. LONGITUDINAL SLOPE.
(E)	ADA ACCESSIBLE RAMP IN SIDEWALK TO CONFORM TO FEDERAL, STATE, AND LOCAL ACCESSIBILITY GUIDELINES.
(F)	ACCESSIBLE PARKING SPACE TYPICAL. SEE DETAIL FOR PARKING SPACE SIZE, SIGN AND SYMBOL ("VAN" INDICATES VAN ACCESSIBLE SPACE).
(G)	SEED, SOIL, AND/OR LANDSCAPE AREA, MINIMUM 4" OF TOPSOIL - NOT USED
(H)	SITE LIGHTING POLE / FIXTURE TYPICAL (SEE LIGHTING PLANS FOR DETAILS) - NOT USED
(I)	PROPOSED SMOKERS BENCH
(J)	EXIT PORCH. SEE ARCHITECTURAL PLANS FOR EXACT SIZE, LOCATION FOR STOOPS, STAIRS AND/OR RAMPS THAT MAY BE REQUIRED. RAMP PAVEMENT FLUSH WITH THE TOP OF STOOP.
(K)	CONCRETE TRANSFORMER PAD - NOT USED
(L)	DUMPSTER AND RECYCLE AREA. REFER TO ARCHITECTURAL PLAN FOR DESIGN INFORMATION.
(M)	6" DIAMETER PIPE BOLLARD, PAINTED TRAFFIC YELLOW, CONCRETE FILLED - NOT USED
(N)	6' HIGH CHAIN LINK FENCE WITH SWING GATE (SIZE AND LOCATION PER PLAN).
(O)	10' MULTI-MODAL PATH
(P)	RETAINING WALL - TO BE DESIGN/BUILD BY CONTRACTOR
(Q)	LOADING DOCK
(R)	VAN LOADING SPACE
(S)	VAN QUEUING SPACE
(T)	CANOPY COLUMNS (SEE ARCH PLANS)
(U)	PEDESTRIAN ACCESS GATE (SEE SITE DETAIL SHEET)
(V)	CONCRETE WHEEL STOP (SEE SITE DETAIL SHEET)

LANDSCAPE AND PAVEMENT LEGEND	
(P1)	STANDARD DUTY ASPHALT PAVEMENT:
(P2)	HEAVY DUTY ASPHALT PAVEMENT:
(P3)	HEAVY DUTY CONCRETE PAVEMENT:
(P4)	CONCRETE SIDEWALK:
(P5)	SEED/SOD/LANDSCAPE:



NO.	REVISIONS	DATE	BY

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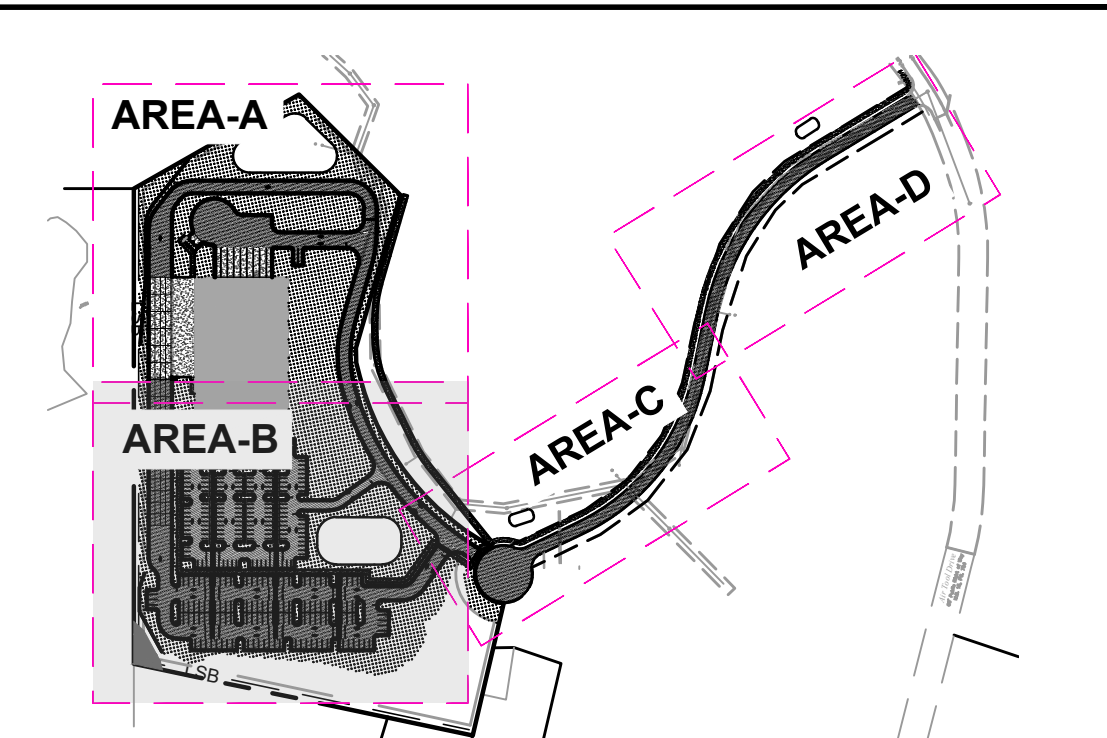
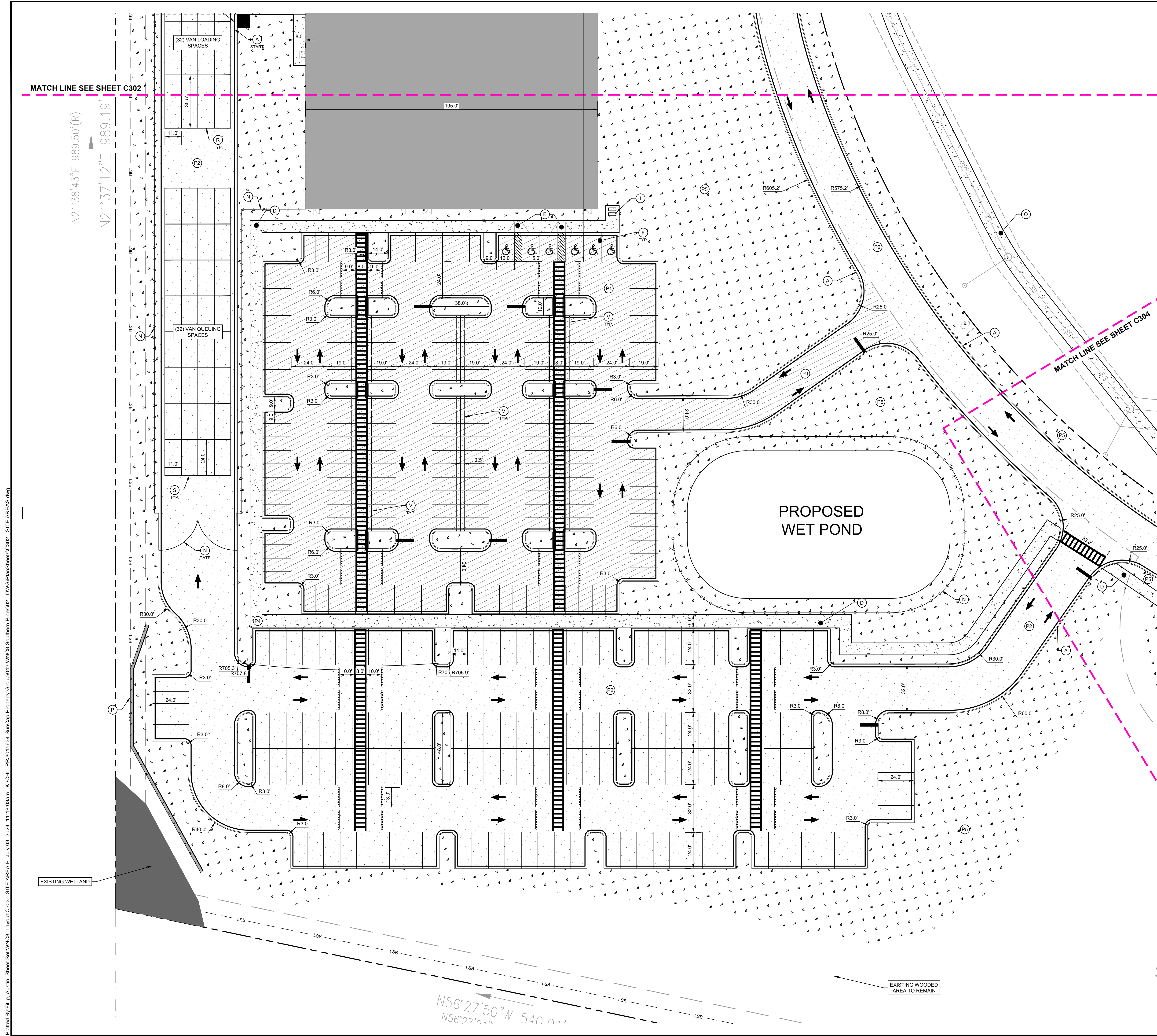
PRELIMINARY

KH PROJECT	015634042
DATE	07/08/2024
SCALE	AS SHOWN
DESIGNED BY	AJF
DRAWN BY	JH
CHECKED BY	ARE

SITE PLAN - AREA A

WNC8
 PREPARED FOR
SUNCAP PROPERTY GROUP
 TOWN OF SOUTHERN PINES, NC

SHEET NUMBER
C302



- SITE PLAN KEY NOTES**
- SEE "GENERAL NOTES" SHEET FOR SITE GENERAL NOTES.
 - SEE "OVERALL SITE PLAN" FOR SITE DEVELOPMENT NOTES AND SITE DATA INFORMATION.
 - SEE "SITE DETAIL" SHEETS FOR DETAILS REFERENCED ON THE SITE PLANS.
- SITE IMPROVEMENTS**
- (A) STANDARD 24" CURB AND GUTTER
 - (B) FLUSH CURB USED AT CANOPY, LENGTH PER PLAN, TRANSITION TO STANDARD 6" CURB HEIGHT OVER 10' PER PLAN.
 - (C) CURB END TRANSITION
 - (D) CONCRETE SIDEWALK PER DETAIL, WIDTH PER PLAN, 2% MAX. CROSS SLOPE, 5% MAX. LONGITUDINAL SLOPE.
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 - (G) SEED, SOD, AND/OR LANDSCAPE AREA, MINIMUM 4" OF TOPSOIL - NOT USED
 - (H) SITE LIGHTING POLE / FIXTURE TYPICAL (SEE LIGHTING PLANS FOR DETAILS) - NOT USED
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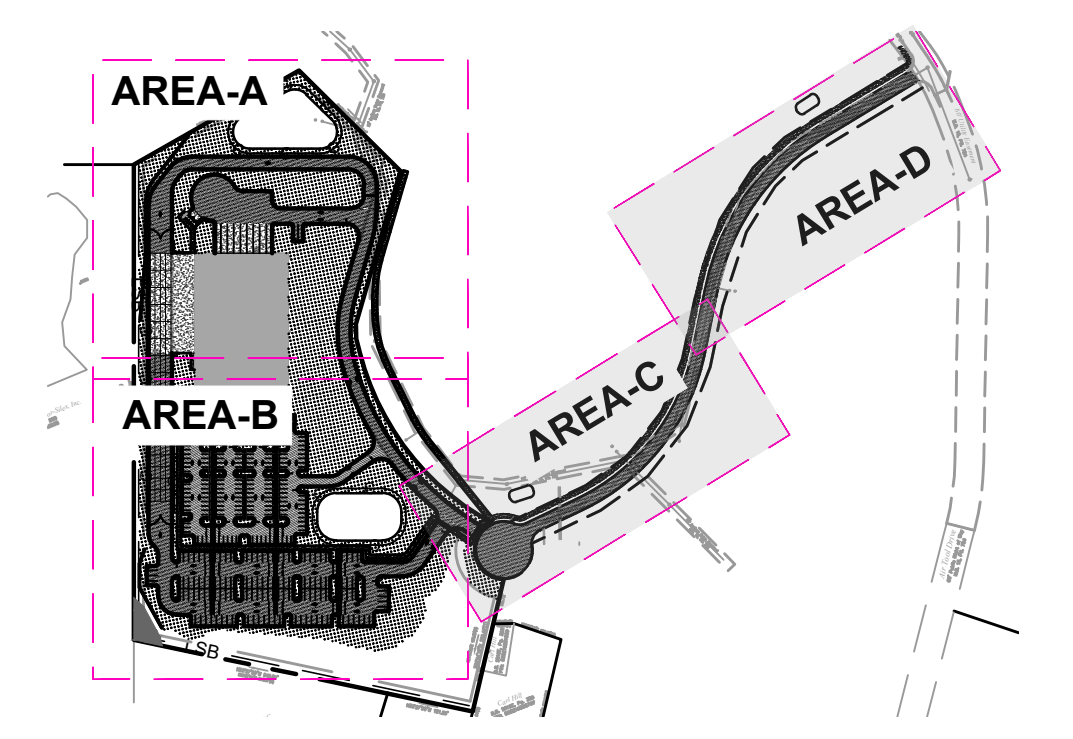
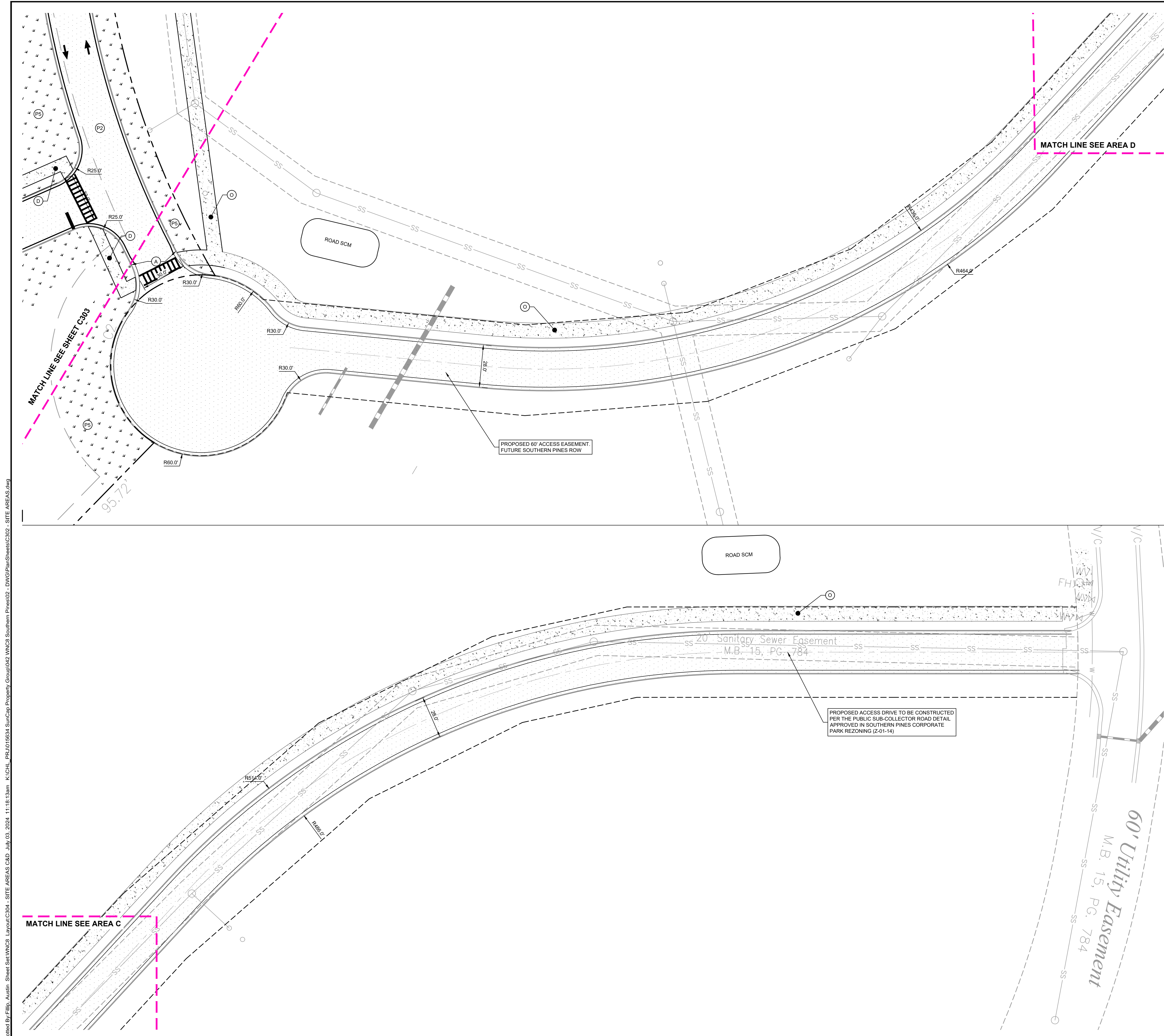
LANDSCAPE AND PAVEMENT LEGEND

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(P2)	HEAVY DUTY ASPHALT PAVEMENT:	
(P3)	HEAVY DUTY CONCRETE PAVEMENT:	
(P4)	CONCRETE SIDEWALK:	
(P5)	SEED/SOD/LANDSCAPE:	

<p>Kimley Horn</p> <p>© 2024 KIMLEY-HORN AND ASSOCIATES, INC. 200 SOUTH TRYON ST. SUITE 200, CHARLOTTE, NC 28202 WWW.KIMLEY-HORN.COM NC LICENSE #P-1012</p>	<p style="text-align: center; border: 1px solid red; padding: 2px;">PRELIMINARY</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 25%;">KH PROJECT</td> <td style="width: 25%;">015634042</td> <td style="width: 25%;">DATE</td> <td style="width: 25%;">07/08/2024</td> </tr> <tr> <td>SCALE</td> <td>AS SHOWN</td> <td>DESIGNED BY</td> <td>AJF</td> </tr> <tr> <td>DRAWN BY</td> <td>JH</td> <td>CHECKED BY</td> <td>ARE</td> </tr> </table>	KH PROJECT	015634042	DATE	07/08/2024	SCALE	AS SHOWN	DESIGNED BY	AJF	DRAWN BY	JH	CHECKED BY	ARE
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DRAWN BY	JH	CHECKED BY	ARE										
<p>SITE PLAN - AREA B</p>	<p>WNC8 PREPARED FOR SUNCAP PROPERTY GROUP TOWN OF SOUTHERN PINES</p>												
<p>811 Know what's below. Call before you dig.</p>	<p>SHEET NUMBER C303</p>												

Plotted By: Phillip, Austin. Sheet Set: WNC8. Layout: C303 - SITE AREA B. July 03, 2024. 11:18:03am. K:\CHL_P\PRJ\1015634_SunCap_Property_Group\042_WNC8_Southern_Pines\02 - DWG\PlanSheets\C302 - SITE AREA AS.dwg

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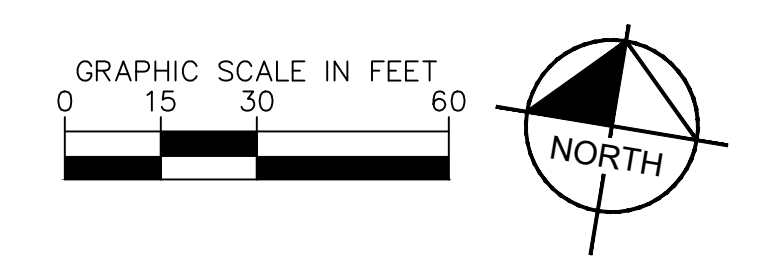
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NO.	REVISIONS	DATE	BY

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KH PROJECT	015634042	DATE	07/08/2024	SCALE	AS SHOWN	DESIGNED BY	AJF	DROWN BY	JH	CHECKED BY	ARE
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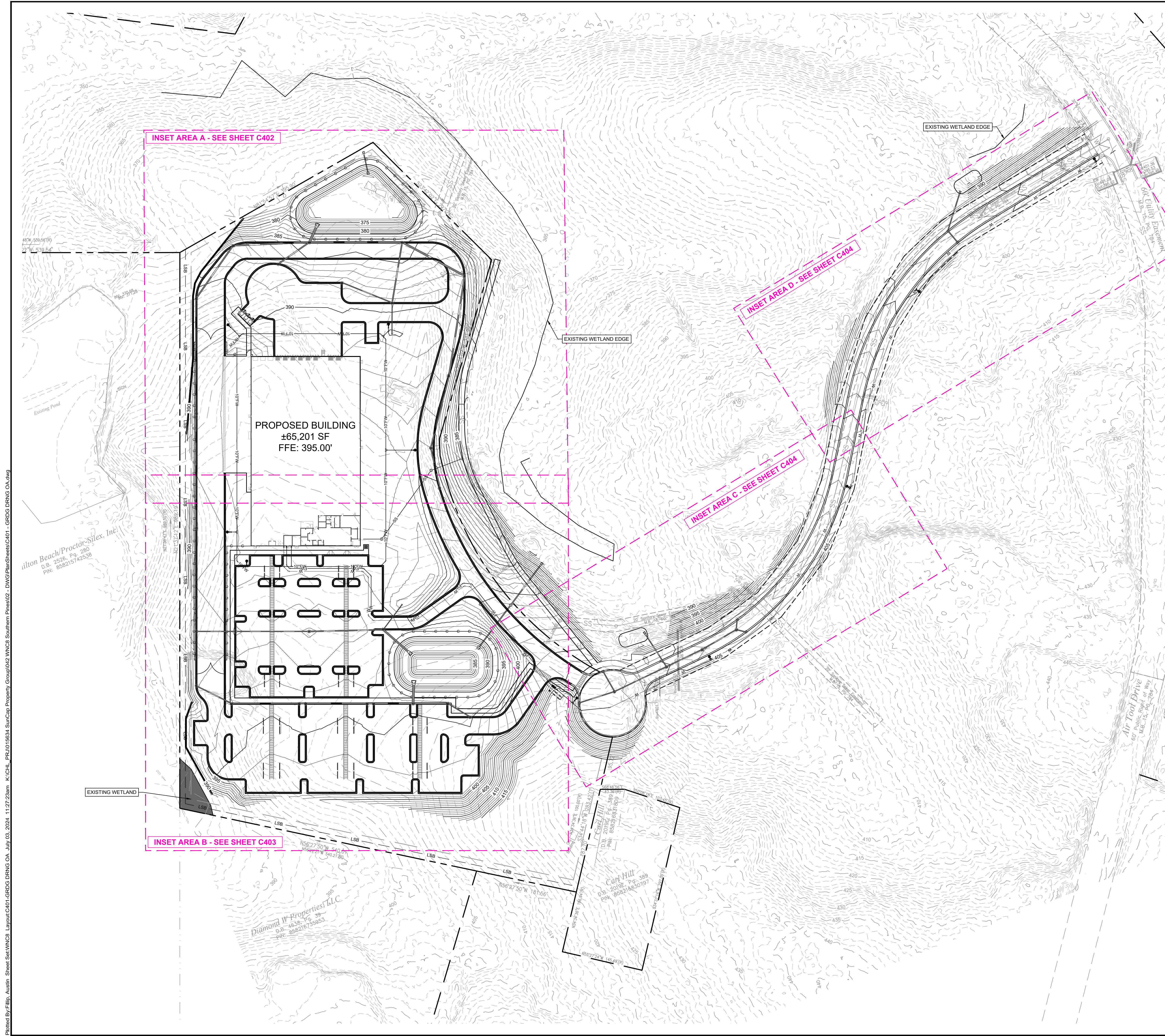
SITE PLAN - AREAS C&D

WNC8
 PREPARED FOR
SUNCAP PROPERTY GROUP
 TOWN OF SOUTHERN PINES, NC

SHEET NUMBER
C304

Plotted By: Phillip, Austin. Sheet Set: WNC8. Layout: C304 - SITE AREAS C&D. July 03, 2024, 11:18:13am. K:\CHL_P\1016554_SunCap Property Group\102 WNC8 Southern Pines\102 - DWG\PlanSheets\C302 - SITE AREAS.dwg

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- GRADING NOTES:**
- REFER TO THE GENERAL NOTES SHEET FOR NOTES PERTAINING TO PAVING, GRADING, ACCESSIBILITY, AND STORM DRAINAGE.
 - EXISTING AND PROPOSED GRADE CONTOURS INTERVALS SHOWN AT 1 FOOT.
 - ALL SPOT ELEVATIONS WITH FC, REPRESENTS THE FACE OF CURB AT THE GUTTER LINE. (ADD 0.50' FOR TOP OF CURB.)
 - ALL SPOT ELEVATIONS WITH TC, REPRESENTS THE TOP OF CURB ELEVATION. (SUBTRACT 0.50' FOR PAVEMENT OR ELEVATION OF GUTTER AT CURB LINE.)
 - RIM ELEVATIONS OF CATCH BASINS (CURB INLETS) EQUALS THE FLOW LINE OF THE GUTTER PAN. RIM ELEVATIONS OF DROP INLETS, MANHOLES, AND CLEANOUTS EQUALS THE CENTER OF GRATE OR LID ELEVATION.
 - ALL STRUCTURES SHALL BE ADJUSTED AS NECESSARY TO BE FLUSH WITH FINAL PAVEMENT.
 - MANHOLES WITHIN NON PAVED AREAS SHALL BE 6" ABOVE ADJACENT GRADES, UNLESS OTHERWISE SHOWN.
 - CONTRACTOR SHALL PROVIDE SMOOTH TRANSITION BETWEEN PROPOSED PAVEMENT AND EXISTING PAVEMENT AND STORM STRUCTURES.
 - DURING CONSTRUCTION AND AFTER FINAL GRADING, NO SURFACE WATER RUNOFF MAY BE DIRECTED TO ADJACENT PROPERTIES, AND ALL SURFACE WATER RUNOFF MUST BE ROUTED TO APPROVED DRAINAGE FACILITIES OR BE RETAINED ON SITE. ALL RUNOFF FROM THE SITE, BOTH DURING AND AFTER CONSTRUCTION, MUST BE FREE OF POLLUTANTS, INCLUDING SEDIMENT, PRIOR TO DISCHARGE.
- ADA COMPLIANCE:**
- CURB RAMPS ALONG PUBLIC STREETS AND IN THE PUBLIC RIGHT-OF-WAY SHALL BE CONSTRUCTED BASED ON THE TOWN STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS.
 - PRIVATE CURB RAMPS ON THE SITE (I.E. OUTSIDE PUBLIC STREET RIGHT-OF-WAY) SHALL CONFORM TO THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND SHALL HAVE A DETECTABLE WARNING SURFACE THAT IS FULL WIDTH OF THE CURB RAMP, NOT INCLUDING FLARES.
 - ALL ACCESSIBLE ROUTES, GENERAL SITE AND BUILDING ELEMENTS, RAMPS, CURB RAMPS, STRIPING, AND PAVEMENT MARKINGS SHALL CONFORM TO ADA STANDARDS FOR ACCESSIBLE DESIGN, LATEST EDITION.
 - BEFORE PLACING PAVEMENT, CONTRACTOR SHALL VERIFY THAT SUITABLE ACCESSIBLE PEDESTRIAN ROUTES (PER ADA AND FHM) EXIST TO AND FROM EVERY DOOR AND ALONG SIDEWALKS, ACCESSIBLE PARKING SPACES, ACCESS AISLES, AND ACCESSIBLE ROUTES. IN NO CASE SHALL AN ACCESSIBLE RAMP SLOPE EXCEED 1 VERTICAL TO 12 HORIZONTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPE EXCEED 2.0 PERCENT. IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPE EXCEED 5.0 PERCENT. ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL NOT EXCEED 2.0 PERCENT SLOPE IN ANY DIRECTION.
 - CONTRACTOR SHALL TAKE FIELD SLOPE MEASUREMENTS ON FINISHED SUBGRADE AND FORM BOARDS PRIOR TO PLACING PAVEMENT TO VERIFY THAT ACCESSIBLE SLOPE REQUIREMENTS ARE PROVIDED. CONTRACTOR SHALL CONTACT ENGINEER PRIOR TO PAVING IF ANY EXCESSIVE SLOPES ARE ENCOUNTERED. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR ADA COMPLIANCE ISSUES.

ALERT TO CONTRACTOR: CONFIRM WITH GEOTECH REPORT

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR THIS ISSUE. WHEN PERFORMING GRADING OPERATIONS DURING PERIODS OF WET WEATHER, PROVIDE ADEQUATE DEWATERING, DRAINAGE AND GROUND WATER MANAGEMENT TO CONTROL MOISTURE OF SOILS.

ALERT TO CONTRACTOR: RETAINING WALLS

RETAINING WALLS SHOWN SHALL BE DESIGNED AND BUILT BY THE CONTRACTOR. WALL DESIGNERS SHALL PROVIDE SIGNED AND SEALED SHOP DRAWING FOR ALL RETAINING WALLS. WALLS SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER. SIGNED AND SEALED CALCULATIONS FOR RETAINING WALLS SHALL BE PROVIDED BY THE WALL DESIGNER. THE ANALYSIS SHALL INCLUDE INTERNAL, EXTERNAL, GLOBAL STABILITY, AND BEARING CAPACITY CALCULATIONS. THE WALL DESIGNER SHALL BE RESPONSIBLE FOR SELECTING AND SPECIFYING THE APPROPRIATE REINFORCING FILL MATERIALS, GEOGRID, AND OTHER WALL APPURTENANCES. THE DESIGN SHALL ADDRESS HYDROSTATIC LOADING, SEISMIC LOADING, RAPID DRAWDOWN, SURCHARGE, AND BACKSLOPES WHERE APPROPRIATE. RETAINING WALL ENVELOPES ARE SHOWN FOR REFERENCE ONLY AND REFLECT FINISHED GRADE AT TOP AND BOTTOM OF WALL.

NO.	REVISIONS	DATE	BY

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PRELIMINARY

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DATE	07/08/2024
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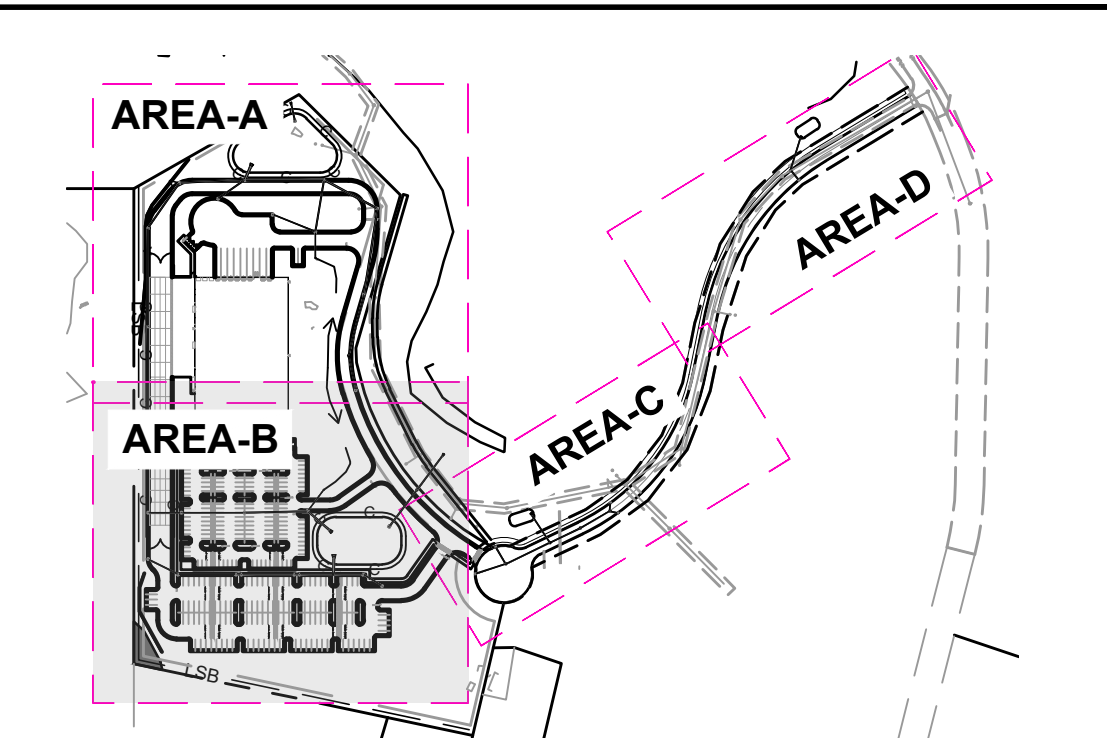
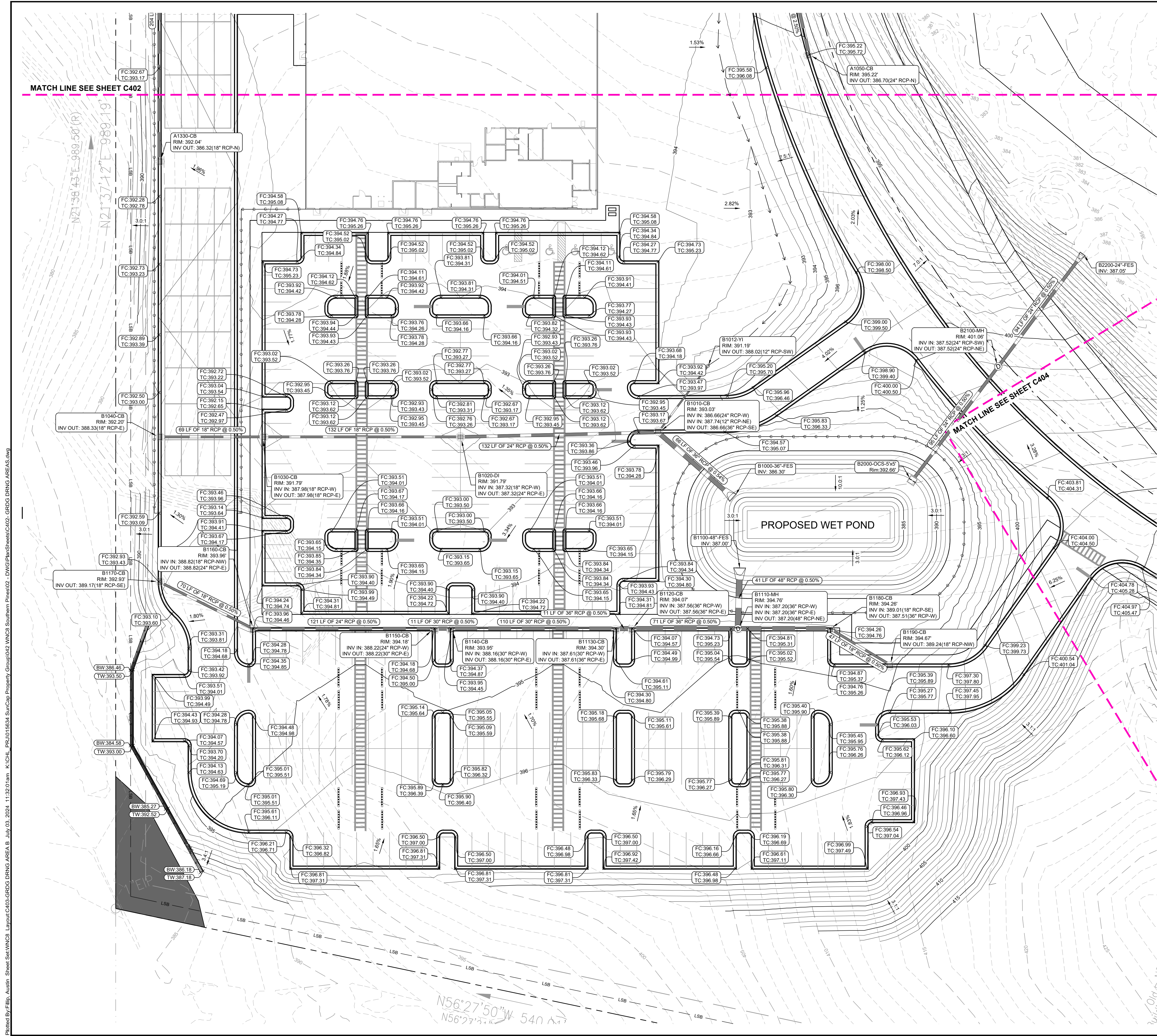
OVERALL GRADING AND DRAINAGE PLAN

WNC8
 PREPARED FOR
SUNCAP PROPERTY GROUP
 TOWN OF SOUTHERN PINES, NC

SHEET NUMBER
C401

Plotted By: Phillip, Austin Sheet: WNC8 Layout: C401-GRDG DRNG OA July 03, 2024 11:27:23am K:\CHL_PEL\015634_SunCap_Property_Group\042_WNC8_Southern_Pines\02-DWG\PlanSheets\C401-GRDG DRNG OA.dwg

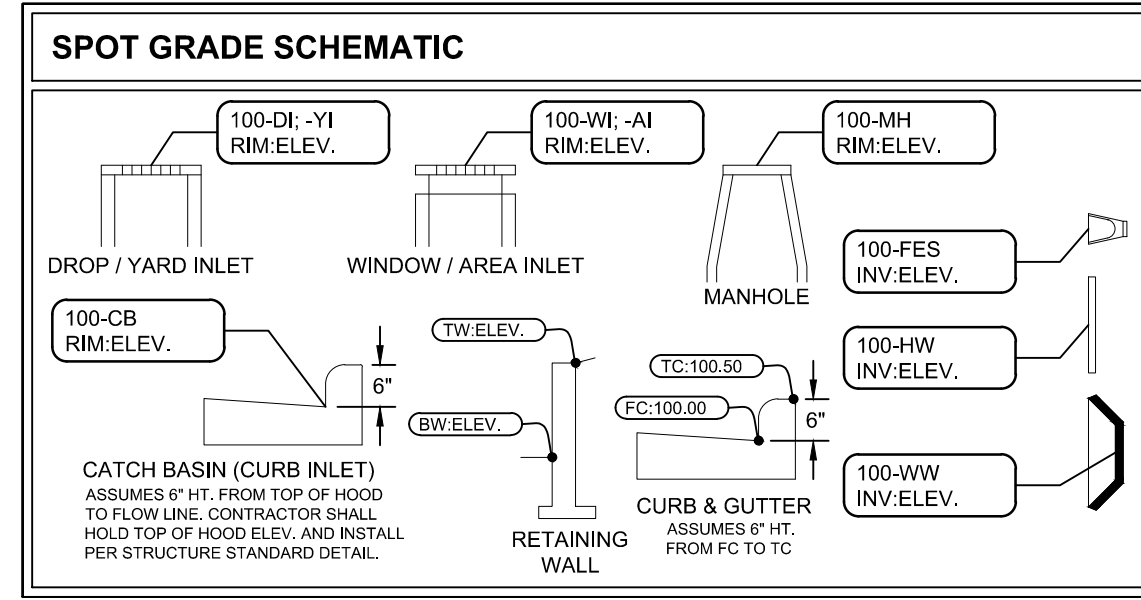
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PROPOSED TOPOGRAPHIC LEGEND

450	PROPOSED MAJOR CONTOUR	450	EXISTING MAJOR CONTOUR
451	PROPOSED MINOR CONTOUR	451	EXISTING MINOR CONTOUR
GB	GRADE BREAK (GB)	L-OD	LIMITS OF DISTURBANCE
HP	HIGH POINT (GB)	TP-107.89	PROPOSED SPOT GRADE
LP	LOW POINT (GB)	TP	TOP OF PAVEMENT
ME	MATCH EXISTING (ME)	TC	TOP OF CURB
2.00%	PROP. SLOPE GRADE	FB	FINAL GRADE
4:1	PROP. RUN/RISE	ME	MEET EXISTING
		HP	HIGH POINT
		TW	TW/TOF OF WALL
		BB	BOTTOM OF WALL
		FF	FINISHED FLOOR ELEV.

- GRADING PLAN KEY NOTES**
- (A) EXISTING WETLANDS
 - (B) 50' EMERGENCY SPILLWAY
 - (C) RIP RAP BERM - NOT USED
 - (D) 10' MAINTENANCE BERM
 - (E) POND FOREBAY - NOT USED
 - (F) SIDEWALK AND CROSSWALK CROSS-SLOPES SHALL NOT EXCEED 3/16" PER LINEAR FOOT (MAX. 2%, SEE DETAIL), 5% MAX. LONGITUDINAL SLOPE.
 - (G) ADA ACCESSIBLE RAMP IN SIDEWALK TO CONFORM TO FEDERAL, STATE, AND LOCAL ACCESSIBILITY GUIDELINES.
 - (H) MATCH EXISTING ELEVATIONS AT THE PROPERTY LIMITS. GRADING ON ADJACENT PROPERTY SHALL REQUIRE SLOPE PERMISSION. CONTRACTOR SHALL NOT COMMENCE WORK ON ADJACENT PROPERTY UNTIL SUCH AGREEMENT IS IN PLACE.
 - (I) TREE CONSERVATION AREA - NOT USED
 - (J) TEMPORARY PROTECTION FENCE - NOT USED

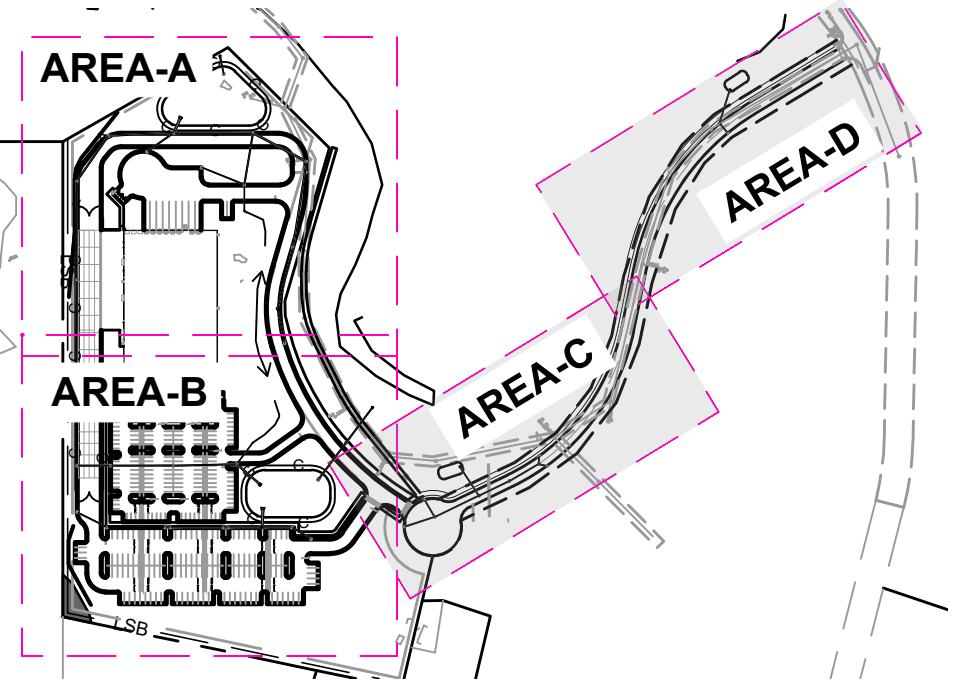
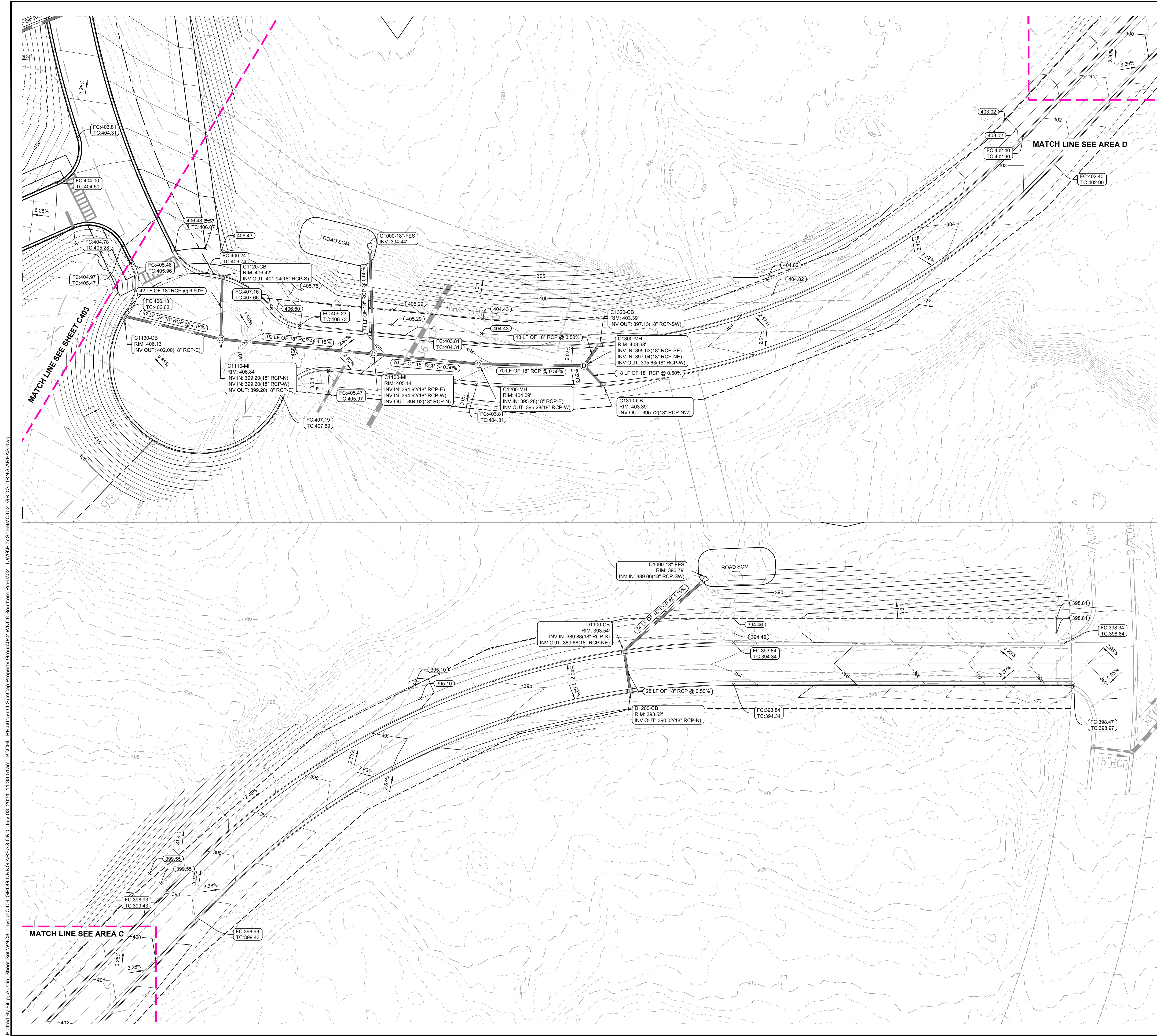


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	PRELIMINARY	KH PROJECT 015634042 DATE 07/08/2024 SCALE AS SHOWN DESIGNED BY AJF DRAWN BY JH CHECKED BY ARE
OVERALL GRADING AND DRAINAGE PLAN - AREA B	WNC8 PREPARED FOR SUNCAP PROPERTY GROUP	NC SHEET NUMBER C403

GRAPHIC SCALE IN FEET
0 15 30 60

811
Know what's below.
Call before you dig.

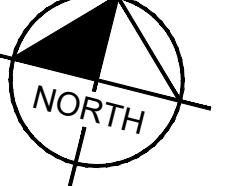
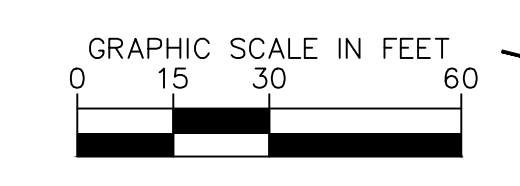
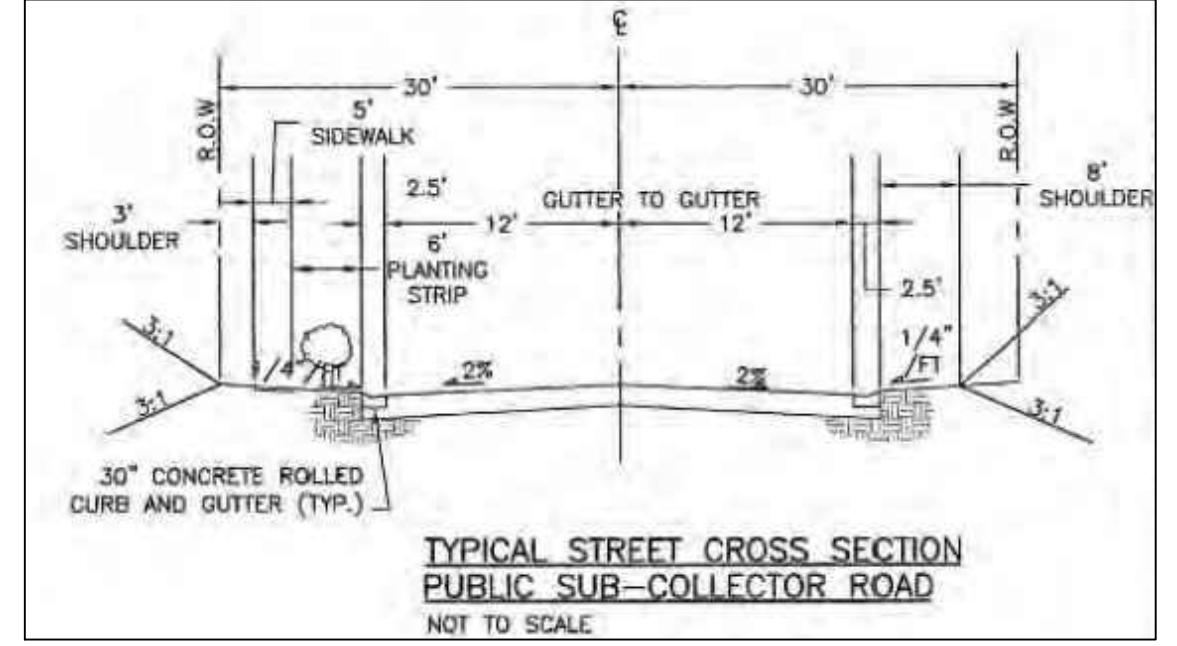
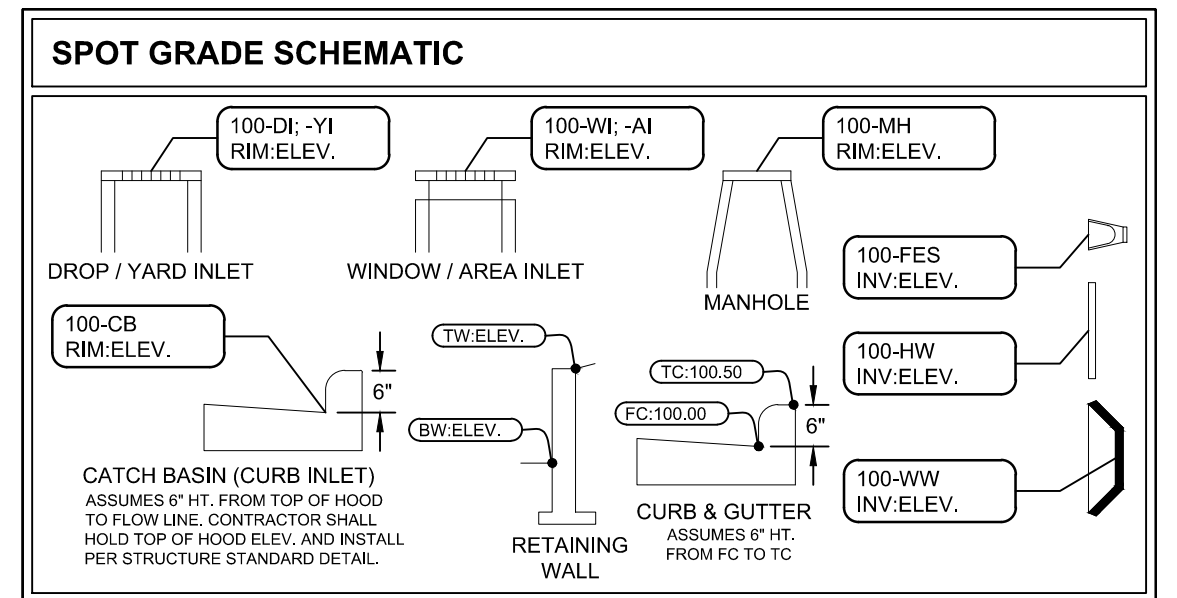
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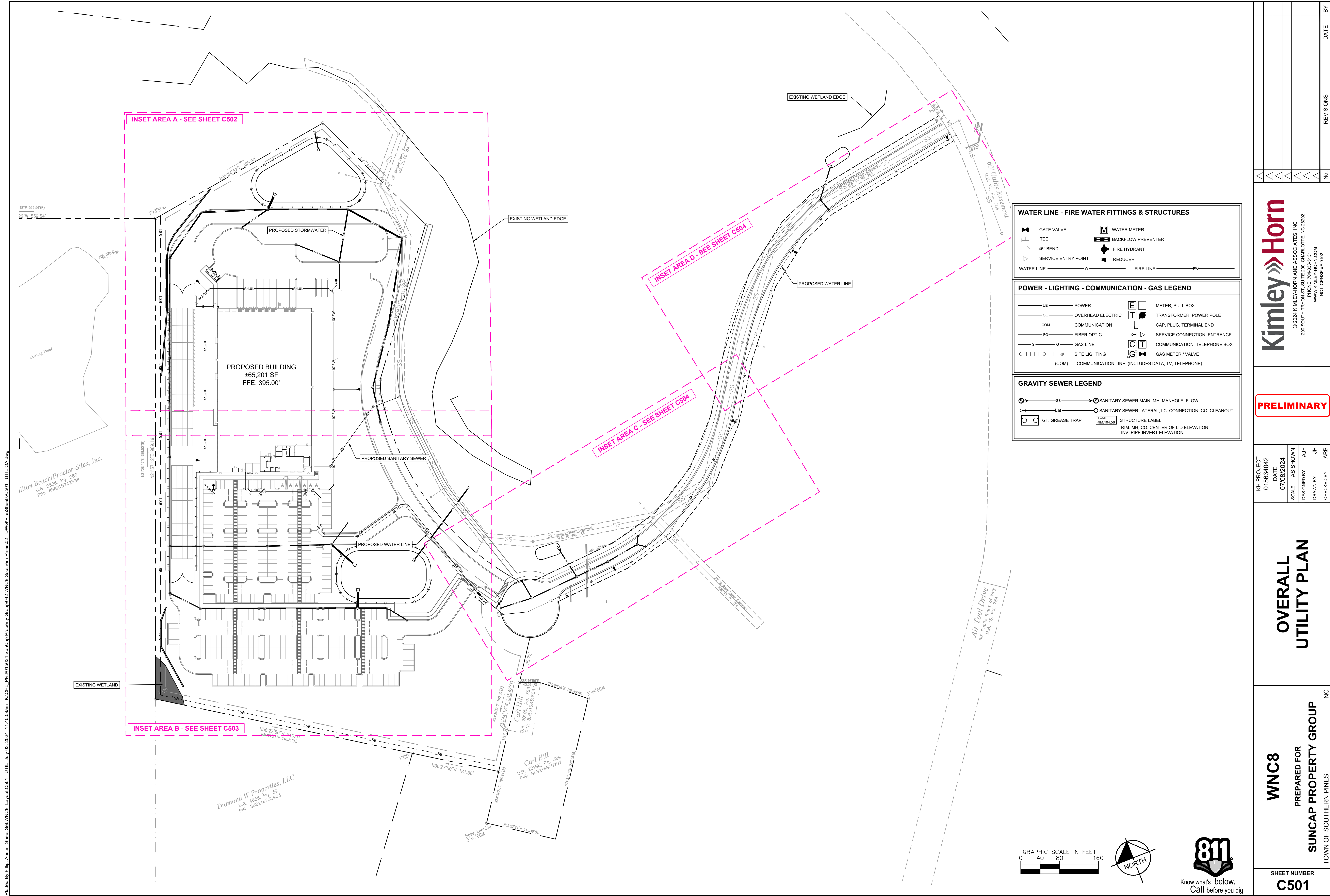
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<p>KH PROJECT 015634042</p> <p>DATE 07/08/2024</p> <p>SCALE AS SHOWN</p> <p>DESIGNED BY AJF</p> <p>DRAWN BY JH</p> <p>CHECKED BY ARE</p>	<p>GRADING AND DRAINAGE PLAN - AREAS C&D</p>						
<p>WNC8</p> <p>PREPARED FOR SUNCAP PROPERTY GROUP</p> <p>TOWN OF SOUTHERN PINES</p>	<p>NC</p> <p>SHEET NUMBER C404</p>						

Plotted By: Phillip, Austin Sheet Set: WNC8 Layout: C404-DRNG AREAS C&D July 03, 2024 11:33:51am K:\CHL_P\01015634_SunCap_Property_Group\042_WNC8_Southern_Pines\02_DWG\PlanSheets\C402_DRNG AREAS C&D.dwg

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INSET AREA A - SEE SHEET C502

INSET AREA B - SEE SHEET C503

INSET AREA C - SEE SHEET C60A

INSET AREA D - SEE SHEET C504

PROPOSED BUILDING
±65,201 SF
FFE: 395.00'

PROPOSED STORMWATER

PROPOSED SANITARY SEWER

PROPOSED WATER LINE

PROPOSED WATER LINE

EXISTING WETLAND EDGE

EXISTING WETLAND EDGE

EXISTING WETLAND

WATER LINE - FIRE WATER FITTINGS & STRUCTURES

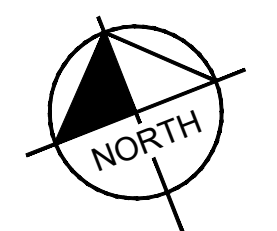
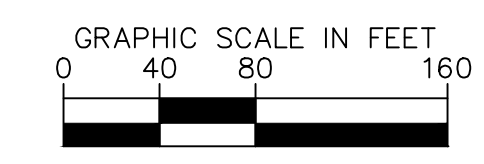
▶ GATE VALVE	◻ WATER METER
⊥ TEE	◻ BACKFLOW PREVENTER
⌒ 45° BEND	◻ FIRE HYDRANT
◻ SERVICE ENTRY POINT	◻ REDUCER
— WATER LINE —	— FIRE LINE —

POWER - LIGHTING - COMMUNICATION - GAS LEGEND

— UE — POWER	◻ METER, PULL BOX
— OE — OVERHEAD ELECTRIC	◻ TRANSFORMER, POWER POLE
— COM — COMMUNICATION	◻ CAP, PLUG, TERMINAL END
— FO — FIBER OPTIC	◻ SERVICE CONNECTION, ENTRANCE
— G — GAS LINE	◻ COMMUNICATION, TELEPHONE BOX
◻ SITE LIGHTING	◻ GAS METER / VALVE
(COM) COMMUNICATION LINE (INCLUDES DATA, TV, TELEPHONE)	

GRAVITY SEWER LEGEND

◻ SS — SANITARY SEWER MAIN, MH: MANHOLE, FLOW
◻ Lat — SANITARY SEWER LATERAL, LC: CONNECTION, CO: CLEANOUT
◻ GT: GREASE TRAP
◻ STRUCTURE LABEL RIM: MH, CO, CENTER OF LID ELEVATION INV: PIPE INVERT ELEVATION



48°W 539.56'(R)
27°W 539.54'

ilston Beach/Proctor-Silex, Inc.
D.B. 2526, Pg. 280
PIN: 858215742538

Diamond W Properties, LLC
D.B. 4638, Pg. 39
PIN: 858216735953

Carl Hill
D.B. 2019E, Pg. 389
PIN: 858216830797

Plotted By: Phillip, Austin. Sheet Set: WNC8. Layout: C501 - UTIL. July 03, 2024, 11:40:09am. K:\CHL_PRA\016584_SunCap_Property_Group\02_WNC8_Southern_Pines\02 - DWG\PlanSheets\C501 - UTIL_OA.dwg

No.	REVISIONS	DATE	BY

Kimley **Horn**

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PHONE: 704-353-5131
WWW.KIMLEY-HORN.COM
NC LICENSE #P-012

PRELIMINARY

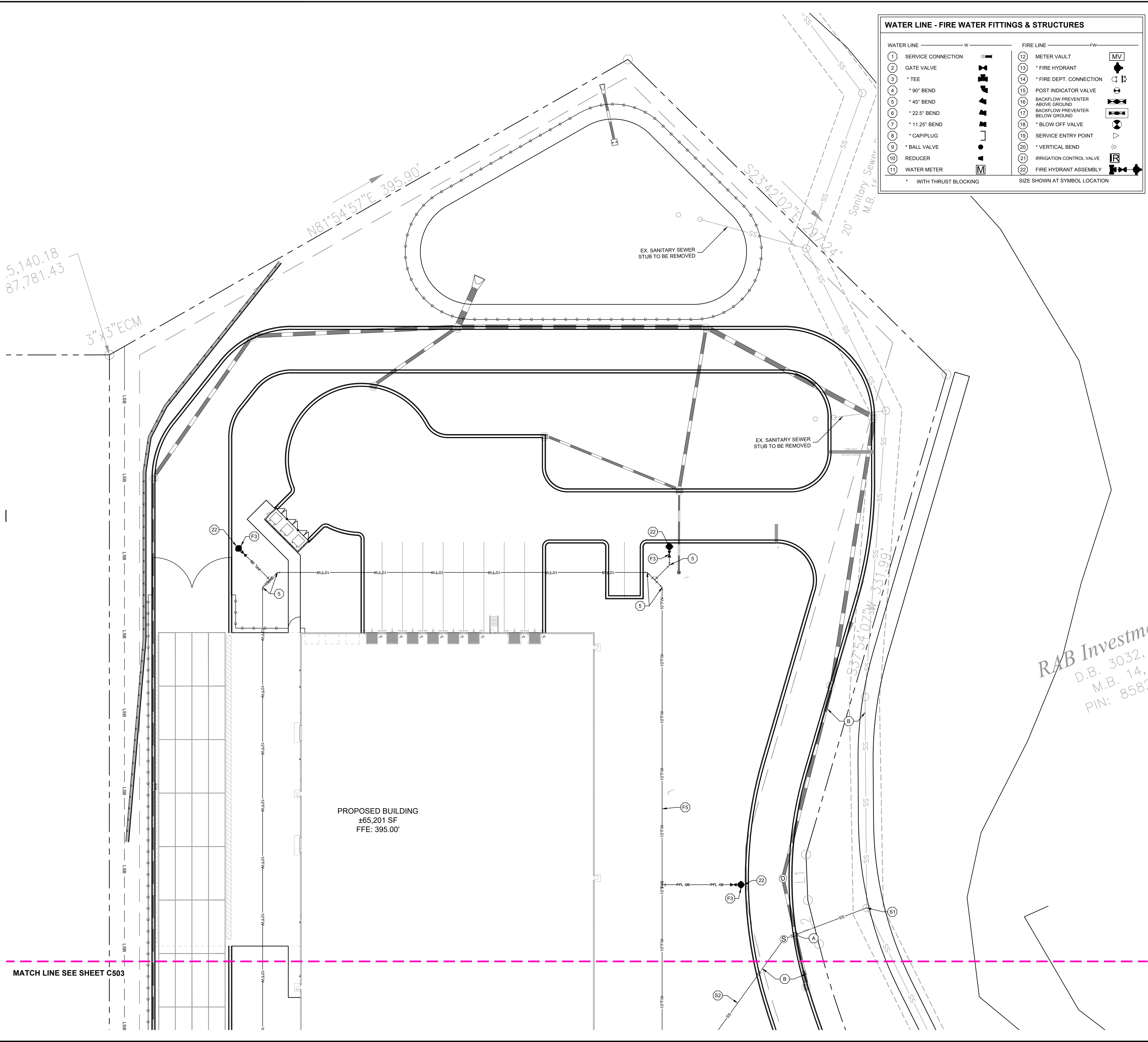
KH PROJECT	015634042
DATE	07/08/2024
SCALE	AS SHOWN
DESIGNED BY	AJF
DRAWN BY	JH
CHECKED BY	ARE

**OVERALL
UTILITY PLAN**

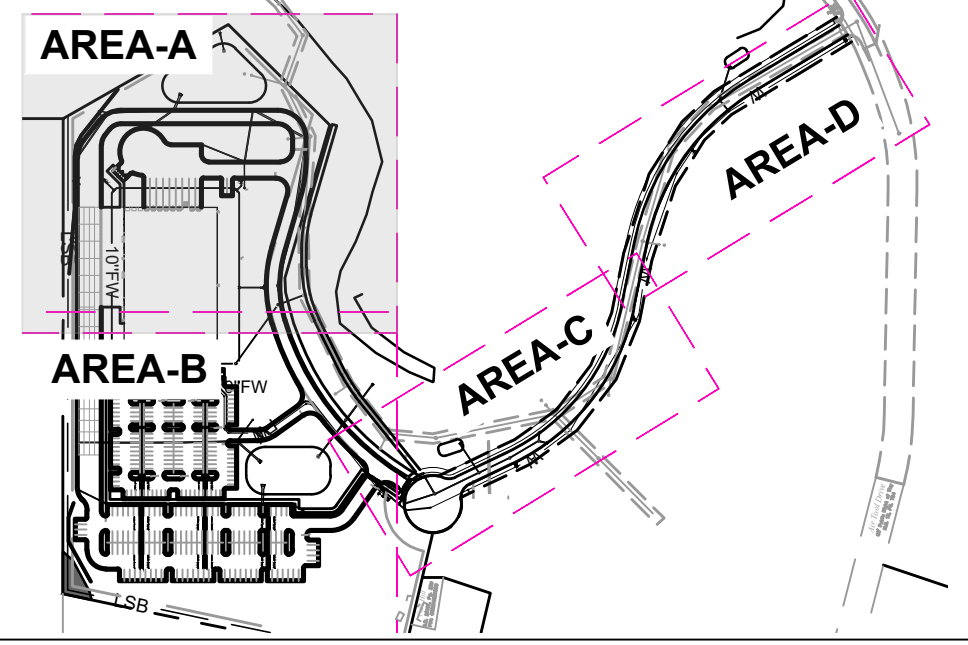
WNC8
PREPARED FOR
SUNCAP PROPERTY GROUP
TOWN OF SOUTHERN PINES, NC

SHEET NUMBER
C501

Plotted By: Phillip, Austin Sheet Set: WNC8 Layout: C502 - UTIL A July 03, 2024 11:45:11am K:\CHL_P\PRJ\1015634_SunCap_Property_Group\042_WNC8_Southern_Pines\02 - DWG\PlanSheets\C502 - UTIL AREAS.dwg



WATER LINE - FIRE WATER FITTINGS & STRUCTURES	
WATER LINE - W	FIRE LINE - FW
1 SERVICE CONNECTION	12 METER VAULT MV
2 GATE VALVE	13 FIRE HYDRANT
3 TEE	14 FIRE DEPT. CONNECTION
4 90° BEND	15 POST INDICATOR VALVE
5 45° BEND	16 BACKFLOW PREVENTER ABOVE GROUND
6 22.5° BEND	17 BACKFLOW PREVENTER BELOW GROUND
7 11.25° BEND	18 BLOW OFF VALVE
8 CAP/PLUG	19 SERVICE ENTRY POINT
9 BALL VALVE	20 VERTICAL BEND
10 REDUCER	21 IRRIGATION CONTROL VALVE
11 WATER METER	22 FIRE HYDRANT ASSEMBLY
* WITH THRUST BLOCKING	
SIZE SHOWN AT SYMBOL LOCATION	



UTILITY LEGEND	
	POWER UNDERGROUND
	POWER OVERHEAD
	COMMUNICATION
	FIBER OPTIC
	GAS LINE
	SITE LIGHTING
	COMMUNICATION (INCLUDES DATA, TV, TELEPHONE)
	GRAVITY SEWER
	STRUCTURE LABEL
	DOMESTIC WATER
	FIRE WATER
SEE GRADING AND DRAINAGE PLANS FOR STORM WATER	

POWER - LIGHTING - COMMUNICATION - GAS LEGEND	
	POWER
	OVERHEAD ELECTRIC
	COMMUNICATION
	FIBER OPTIC
	GAS LINE
	SITE LIGHTING
	METER, PULL BOX
	TRANSFORMER, POWER POLE
	CAP, PLUG, TERMINAL END
	SERVICE CONNECTION, ENTRANCE
	COMMUNICATION, TELEPHONE BOX
	GAS METER / VALVE
(COM) COMMUNICATION LINE (INCLUDES DATA, TV, TELEPHONE)	

GRAVITY SEWER LEGEND	
	SANITARY SEWER MAIN, MH: MANHOLE, FLOW
	SANITARY SEWER LATERAL, LC: CONNECTION, CO: CLEANOUT
	GT: GREASE TRAP
	STRUCTURE LABEL
	RIM: MH, CO: CENTER OF LID ELEVATION
	INV: PIPE INVERT ELEVATION

UTILITY KEYNOTE LEGEND	
GENERAL KEYNOTES	
(A)	A MINIMUM VERTICAL SEPARATION OF 18-INCHES SHALL BE MAINTAINED AT CROSSINGS. IN THE EVENT THAT MINIMUM SEPARATION REQUIREMENTS CANNOT BE MET, THE CONTRACTOR SHALL UTILIZE A CONCRETE CRADLE AND PIPE REQUIREMENTS PER THE GOVERNING AGENCY.
(B)	A MINIMUM HORIZONTAL SEPARATION OF 10' SHALL BE MAINTAINED FOR ALL UTILITY TRUNK LINES WITHIN THE SITE.
(C)	OPEN CUT TRENCH. REMOVE EXISTING PAVEMENT, CURB, (SIDEWALK) TO FACILITATE UTILITY INSTALLATION. SAWCUT A CLEAN EDGE ON BOTH SIDES OF TRENCH. THE CONTRACTOR WILL BE RESPONSIBLE FOR RESTORATION OF THE EXISTING STREET PAVING AND ANY LAND COVER OR STRUCTURE TO ITS ORIGINAL OR BETTER CONDITION.

SANITARY SEWER KEYNOTES	
(S1)	CONTRACTOR TO COORDINATE SANITARY SEWER MANHOLE CONNECTION WITH THE TOWN PUBLIC UTILITIES.
(S2)	6" PVC SANITARY SERVICE.
(S3)	PRIVATE 6" SANITARY SEWER LATERAL AT MINIMUM 1.0% SLOPE.
(S4)	COORDINATE WITH ARCH / MEP PLANS.
(S5)	CLEANOUT(S) - (1/2" TO 2" TRAFFIC RATED IN ALL PAVED AREAS), SPACING PER GOVERNING AGENCY.

DOMESTIC WATER LINE DISTRIBUTION KEYNOTES	
(D1)	DOMESTIC CONNECTION TO PROPOSED 10" WATER MAIN WITH TEE AND VALVE
(D2)	3" DOMESTIC WATER LINE WITH METER. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ANY APPURTENANCES ON THE DOMESTIC LINE SUCH AS BACKFLOW PREVENTION DEVICES, TOSP W-11 GATE VALVES, TOSP W-1 BENDS AND FITTINGS, ETC., WHICH MAY BE REQUIRED. CONTRACTOR TO COORDINATE WITH TOWN OF SOUTHERN PINES PUBLIC WORKS DEPARTMENT.
(D3)	3" DOUBLE CHECK VALVE BACKFLOW PREVENTION ASSEMBLY WITHIN INSULATED ENCLOSURE INSTALLED PER TOWN OF SOUTHERN PINES REQUIREMENTS AND STANDARD DETAIL W11.
(D4)	3" DOMESTIC SERVICE ENTRY LOCATION INTO BUILDING. FIRE AND DOMESTIC BACKFLOW DEVICES LOCATED INSIDE BUILDING. REFER ARCH/MEP PLANS.

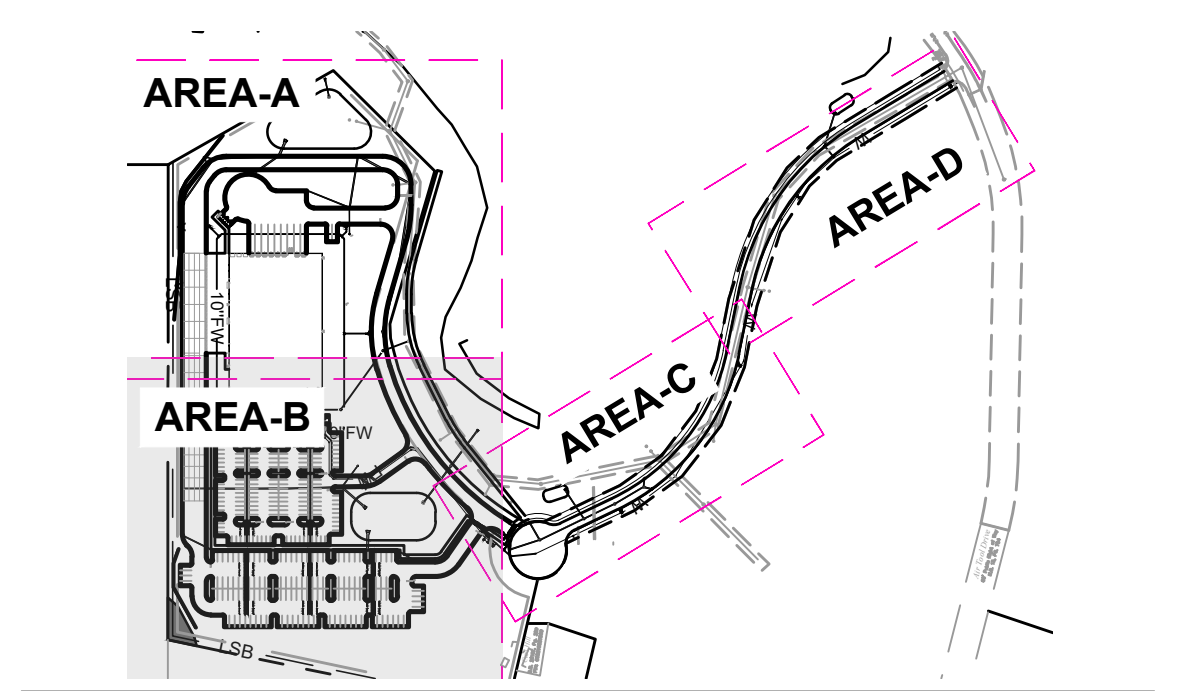
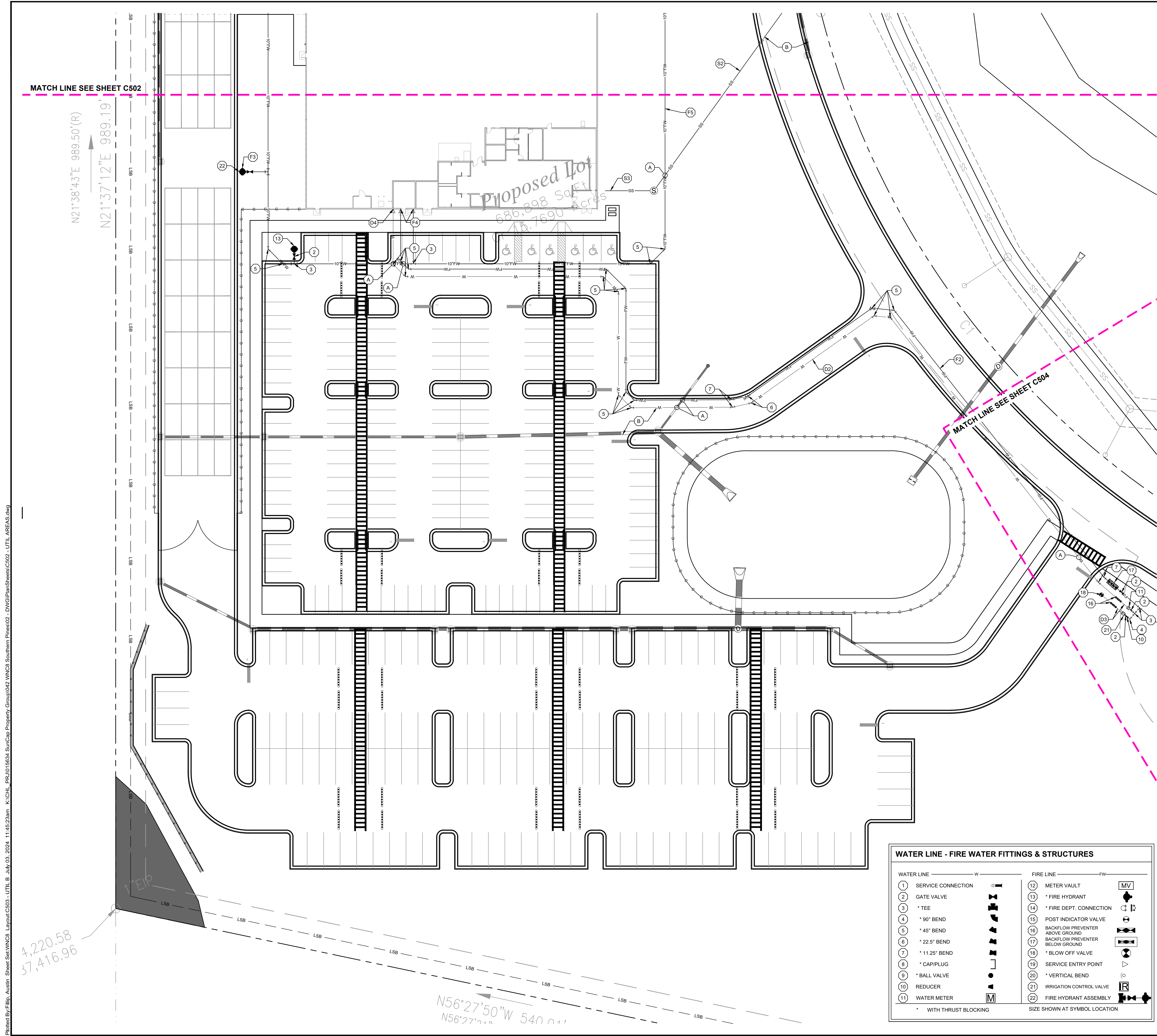
FIRE LINE DISTRIBUTION KEYNOTES	
(F1)	FIRE (DOMESTIC) CONNECTION TO PROPOSED 6" WATER MAIN WITH TEE SLEEVE AND VALVE
(F2)	8" C900 DR 18 PVC FIRE LINE. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ANY APPURTENANCES ON THE FIRE LINE SUCH AS BACKFLOW PREVENTION DEVICES, GATE VALVES, BENDS AND FITTINGS, ETC., WHICH MAY BE REQUIRED. CONTRACTOR TO COORDINATE WITH TOWN OF SOUTHERN PINES PUBLIC WORKS DEPARTMENT.
(F3)	PROPOSED FIRE HYDRANT AND ASSEMBLY WITH 6" SERVICE LINE AND 6" GATE VALVE. TYPICAL AS INDICATED. SEE DETAIL SHEET.
(F4)	FIRE DEPARTMENT CONNECTION AND ENTRY. CONTRACTOR TO COORDINATE WITH TOWN OF SOUTHERN PINES FIRE DEPARTMENT.
(F5)	8" FIRE SERVICE LOOP

GRAPHIC SCALE IN FEET
0 15 30 60

NORTH

811
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<p>© 2024 KIMLEY-HORN AND ASSOCIATES, INC. 200 SOUTH TRYON ST. SUITE 200, CHARLOTTE, NC 28202 WWW.KIMLEY-HORN.COM NC LICENSE #F0102</p>	<p>REVISIONS</p> <table border="1"> <tr> <th>No.</th> <th>DATE</th> <th>BY</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	No.	DATE	BY			
	No.	DATE	BY				
<p>PRELIMINARY</p>	<p>KH PROJECT: 015634042 DATE: 07/08/2024 SCALE: AS SHOWN DESIGNED BY: AJF DRAWN BY: JH CHECKED BY: ARE</p>						
<p>UTILITY PLAN - AREA A</p>	<p>NC</p>						
<p>WNC8 PREPARED FOR SUNCAP PROPERTY GROUP TOWN OF SOUTHERN PINES</p>	<p>SHEET NUMBER C502</p>						



UTILITY LEGEND

	POWER UNDERGROUND
	POWER OVERHEAD
	COMMUNICATION
	FIBER OPTIC
	GAS LINE
	SITE LIGHTING
	COMMUNICATION (INCLUDES DATA, TV, TELEPHONE)
	GRAVITY SEWER
	DOMESTIC WATER
	FIRE WATER

SEE GRADING AND DRAINAGE PLANS FOR STORM WATER

POWER - LIGHTING - COMMUNICATION - GAS LEGEND

	POWER		METER, PULL BOX
	OVERHEAD ELECTRIC		TRANSFORMER, POWER POLE
	COMMUNICATION		CAP, PLUG, TERMINAL END
	FIBER OPTIC		SERVICE CONNECTION, ENTRANCE
	GAS LINE		COMMUNICATION, TELEPHONE BOX
	SITE LIGHTING		GAS METER / VALVE
	COMMUNICATION LINE (INCLUDES DATA, TV, TELEPHONE)		

GRAVITY SEWER LEGEND

	SANITARY SEWER MAIN, MH: MANHOLE, FLOW
	SANITARY SEWER LATERAL, LC: CONNECTION, CO: CLEANOUT
	GT: GREASE TRAP
	STRUCTURE LABEL
	RIM, MH, CO, CENTER OF LID ELEVATION
	INV, PIPE INVERT ELEVATION

UTILITY KEYNOTE LEGEND

GENERAL KEYNOTES

- (A) A MINIMUM VERTICAL SEPARATION OF 18-INCHES SHALL BE MAINTAINED AT CROSSINGS. IN THE EVENT THAT MINIMUM SEPARATION REQUIREMENTS CANNOT BE MET, THE CONTRACTOR SHALL UTILIZE A CONCRETE GRADE AND PIPE REQUIREMENTS PER THE GOVERNING AGENCY.
- (B) A MINIMUM HORIZONTAL SEPARATION OF 10' SHALL BE MAINTAINED FOR ALL UTILITY TRUNK LINES WITHIN THE SITE.
- (C) OPEN CUT TRENCH. REMOVE EXISTING PAVEMENT, CURB, (SIDEWALK) TO FACILITATE UTILITY INSTALLATION. SAWCUT A CLEAN EDGE ON BOTH SIDES OF TRENCH. THE CONTRACTOR WILL BE RESPONSIBLE FOR RESTORATION OF THE EXISTING STREET PAVING AND ANY LAND COVER OR STRUCTURE TO ITS ORIGINAL OR BETTER CONDITION.

SANITARY SEWER KEYNOTES

- (S1) CONTRACTOR TO COORDINATE SANITARY SEWER MANHOLE CONNECTION WITH THE TOWN PUBLIC UTILITIES.
- (S2) 6" PVC SANITARY SERVICE.
- (S3) PRIVATE 6" SANITARY SEWER LATERAL AT MINIMUM 1.0% SLOPE. COORDINATE WITH ARCH / MEP PLANS.
- (S4) CLEANOUT(S) - (1/2" TO 2" TRAFFIC RATED IN ALL PAVED AREAS), SPACING PER GOVERNING AGENCY.

DOMESTIC WATER LINE DISTRIBUTION KEYNOTES

- (D1) DOMESTIC CONNECTION TO PROPOSED 10" WATER MAIN WITH TEE AND VALVE
- (D2) 3" DOMESTIC WATER LINE WITH METER. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ANY APPURTENANCES ON THE DOMESTIC LINE SUCH AS BACKFLOW PREVENTION DEVICES, TSOP W-11 GATE VALVES, TSOP W-1 BENDS AND FITTINGS, ETC., WHICH MAY BE REQUIRED. CONTRACTOR TO COORDINATE WITH TOWN OF SOUTHERN PINES PUBLIC WORKS DEPARTMENT.
- (D3) 3" DOUBLE CHECK VALVE BACKFLOW PREVENTION ASSEMBLY WITHIN INSULATED ENCLOSURE INSTALLED PER TOWN OF SOUTHERN PINES REQUIREMENTS AND STANDARD DETAIL W11.
- (D4) 3" DOMESTIC SERVICE ENTRY LOCATION INTO BUILDING. FIRE AND DOMESTIC BACKFLOW DEVICES LOCATED INSIDE BUILDING. REFER ARCH/MEP PLANS.

FIRE LINE DISTRIBUTION KEYNOTES

- (F1) FIRE (DOMESTIC) CONNECTION TO PROPOSED 8" WATER MAIN WITH TEE SLEEVE AND VALVE
- (F2) 8" 900 DR 18 PVC FIRE LINE. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ANY APPURTENANCES ON THE FIRE LINE SUCH AS BACKFLOW PREVENTION DEVICES, GATE VALVES, BENDS AND FITTINGS, ETC., WHICH MAY BE REQUIRED. CONTRACTOR TO COORDINATE WITH TOWN OF SOUTHERN PINES PUBLIC WORKS DEPARTMENT.
- (F3) PROPOSED FIRE HYDRANT AND ASSEMBLY WITH 6" SERVICE LINE AND 6" GATE VALVE. TYPICAL AS INDICATED. SEE DETAIL SHEET.
- (F4) FIRE DEPARTMENT CONNECTION AND ENTRY. CONTRACTOR TO COORDINATE WITH TOWN OF SOUTHERN PINES FIRE DEPARTMENT.
- (F5) 8" FIRE SERVICE LOOP

WATER LINE - FIRE WATER FITTINGS & STRUCTURES

WATER LINE	FIRE LINE
1 SERVICE CONNECTION	12 METER VAULT
2 GATE VALVE	13 * FIRE HYDRANT
3 * TEE	14 * FIRE DEPT. CONNECTION
4 * 90° BEND	15 POST INDICATOR VALVE
5 * 45° BEND	16 BACKFLOW PREVENTER ABOVE GROUND
6 * 22.5° BEND	17 BACKFLOW PREVENTER BELOW GROUND
7 * 11.25° BEND	18 * BLOW OFF VALVE
8 * CAP/PLUG	19 SERVICE ENTRY POINT
9 * BALL VALVE	20 * VERTICAL BEND
10 REDUCER	21 IRRIGATION CONTROL VALVE
11 WATER METER	22 FIRE HYDRANT ASSEMBLY

* WITH THRUST BLOCKING SIZE SHOWN AT SYMBOL LOCATION

GRAPHIC SCALE IN FEET
0 15 30 60

811
Know what's below.
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Plotted By: Phillip, Austin Sheet Set: WNC8 Layout: C503 - UTIL B July 03, 2024 11:45:23am K:\CHL_P\PRJ\015634_SunCap_Property_Group\042_WNC8_Southern_Pines\02 - DWG\PlanSheets\C503 - UTIL AREAS.dwg
 4,220.58
 37,416.96
 N56°27'50"W 540.01'
 N56°27'01"

Kimley **Horn**

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PRELIMINARY

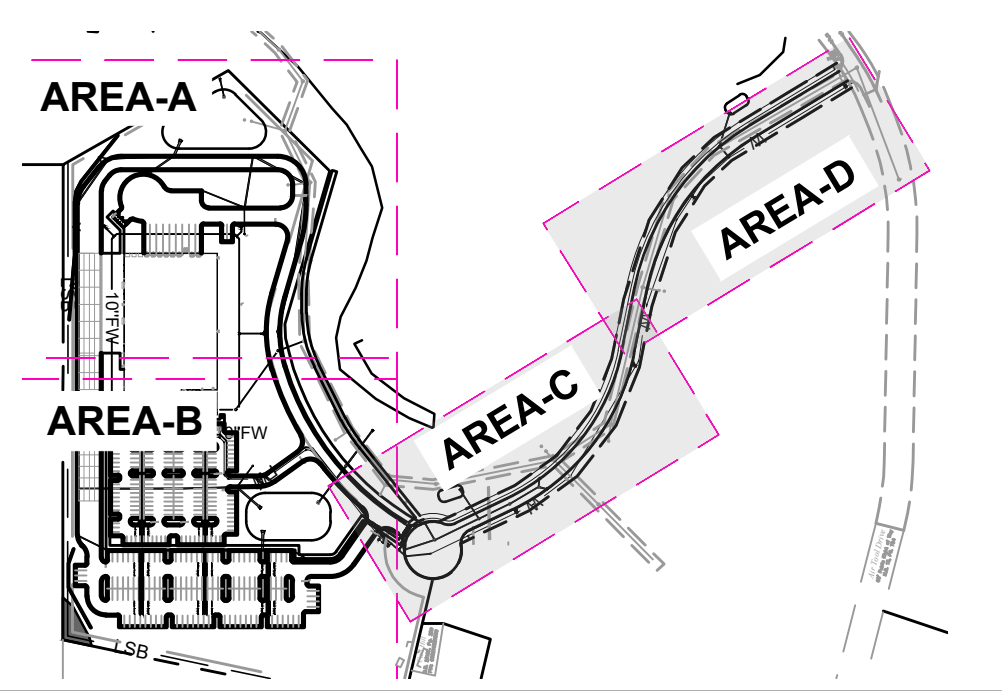
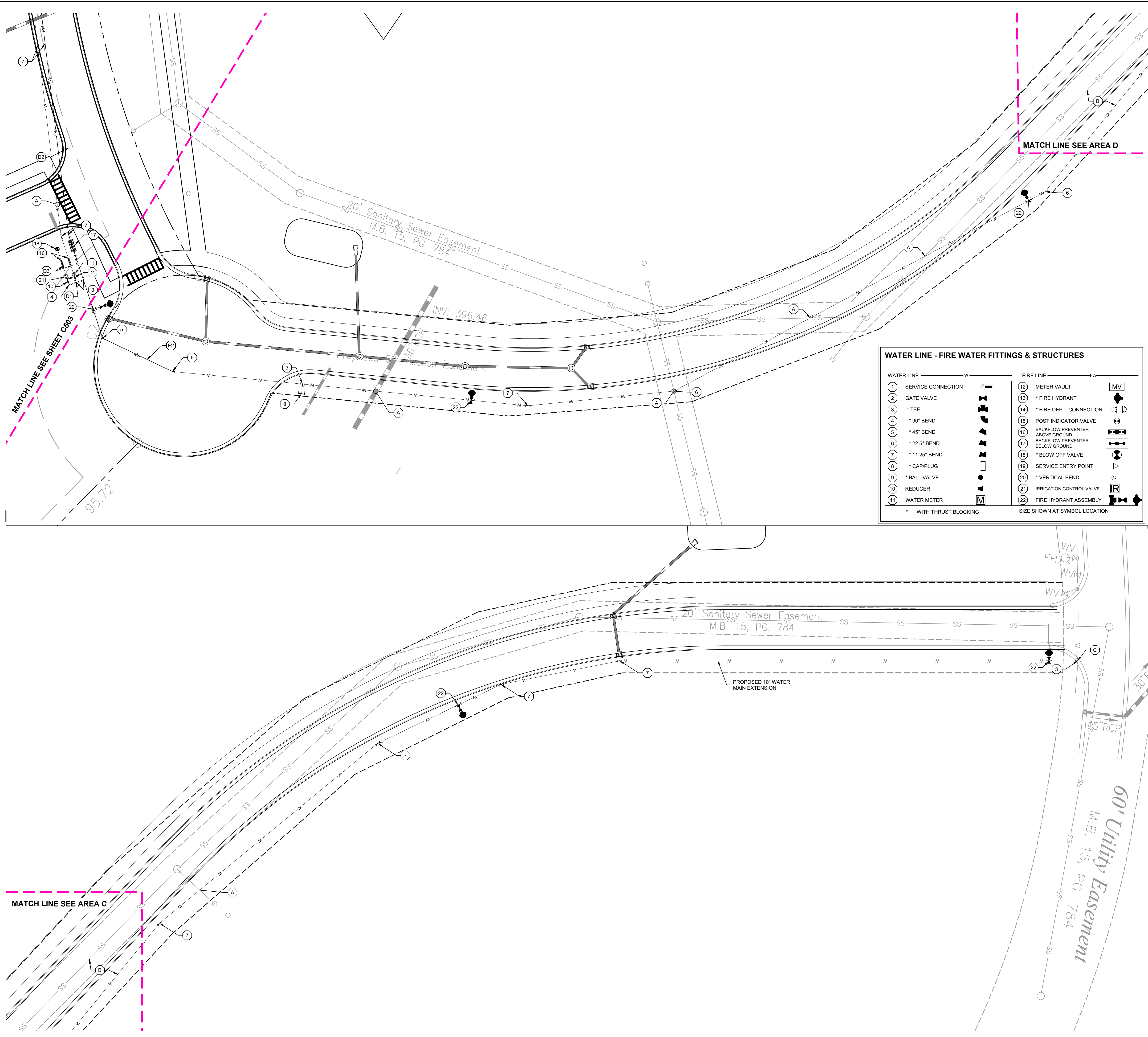
KH PROJECT	015634042
DATE	07/08/2024
SCALE	AS SHOWN
DESIGNED BY	AJF
DRAWN BY	JH
CHECKED BY	ARE

UTILITY PLAN - AREA B

WNC8
 PREPARED FOR
SUNCAP PROPERTY GROUP
 TOWN OF SOUTHERN PINES

SHEET NUMBER
C503

NO.	REVISIONS	DATE	BY



UTILITY LEGEND

	POWER UNDERGROUND
	POWER OVERHEAD
	COMMUNICATION
	FIBER OPTIC
	GAS LINE
	COMMUNICATION (INCLUDES DATA, TV, TELEPHONE)
	GRAVITY SEWER
	DOMESTIC WATER
	FIRE WATER

SEE GRADING AND DRAINAGE PLANS FOR STORM WATER

POWER - LIGHTING - COMMUNICATION - GAS LEGEND

	POWER		METER, PULL BOX
	OVERHEAD ELECTRIC		TRANSFORMER, POWER POLE
	COMMUNICATION		CAP, PLUG, TERMINAL END
	FIBER OPTIC		SERVICE CONNECTION, ENTRANCE
	GAS LINE		COMMUNICATION, TELEPHONE BOX
	SITE LIGHTING		GAS METER / VALVE
	COMMUNICATION LINE (INCLUDES DATA, TV, TELEPHONE)		

GRAVITY SEWER LEGEND

	SANITARY SEWER MAIN, MH: MANHOLE, FLOW
	SANITARY SEWER LATERAL, LC: CONNECTION, CO: CLEANOUT
	GT: GREASE TRAP
	STRUCTURE LABEL
	RIM: MH, CO, CENTER OF LID ELEVATION
	INV: PIPE INVERT ELEVATION

WATER LINE - FIRE WATER FITTINGS & STRUCTURES

	1 SERVICE CONNECTION		12 METER VAULT
	2 GATE VALVE		13 FIRE HYDRANT
	3 TEE		14 FIRE DEPT. CONNECTION
	4 90° BEND		15 POST INDICATOR VALVE
	5 45° BEND		16 BACKFLOW PREVENTER ABOVE GROUND
	6 22.5° BEND		17 BACKFLOW PREVENTER BELOW GROUND
	7 11.25° BEND		18 BLOW OFF VALVE
	8 CAP/PLUG		19 SERVICE ENTRY POINT
	9 BALL VALVE		20 VERTICAL BEND
	10 REDUCER		21 IRRIGATION CONTROL VALVE
	11 WATER METER		22 FIRE HYDRANT ASSEMBLY

* WITH THRUST BLOCKING SIZE SHOWN AT SYMBOL LOCATION

UTILITY KEYNOTE LEGEND

GENERAL KEYNOTES

- (A) A MINIMUM VERTICAL SEPARATION OF 18-INCHES SHALL BE MAINTAINED AT CROSSINGS. IN THE EVENT THAT MINIMUM SEPARATION REQUIREMENTS CANNOT BE MET, THE CONTRACTOR SHALL UTILIZE A CONCRETE CRADLE AND PIPE REQUIREMENTS PER THE GOVERNING AGENCY.
- (B) A MINIMUM HORIZONTAL SEPARATION OF 10' SHALL BE MAINTAINED FOR ALL UTILITY TRUNK LINES WITHIN THE SITE.
- (C) OPEN CUT TRENCH. REMOVE EXISTING PAVEMENT, CURB, (SIDEWALK) TO FACILITATE UTILITY INSTALLATION. SAWCUT A CLEAN EDGE ON BOTH SIDES OF TRENCH. THE CONTRACTOR WILL BE RESPONSIBLE FOR RESTORATION OF THE EXISTING STREET PAVING AND ANY LAND COVER OR STRUCTURE TO ITS ORIGINAL OR BETTER CONDITION.

SANITARY SEWER KEYNOTES

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- (S2) 6" PVC SANITARY SERVICE.
- (S3) PRIVATE 6" SANITARY SEWER LATERAL AT MINIMUM 1.0% SLOPE.
- (S4) COORDINATE WITH ARCH / MEP PLANS.
- (S5) CLEANOUT(S) - (H=20" TRAFFIC RATED IN ALL PAVED AREAS), SPACING PER GOVERNING AGENCY.

DOMESTIC WATER LINE DISTRIBUTION KEYNOTES

- (D1) DOMESTIC CONNECTION TO PROPOSED 10" WATER MAIN WITH TEE AND VALVE
- (D2) 3" DOMESTIC WATER LINE WITH METER. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ANY APPURTENANCES ON THE DOMESTIC LINE SUCH AS BACKFLOW PREVENTION DEVICES, GATE VALVES, TSOB W-11 GATE VALVES, TOSP W-1 BENDS AND FITTINGS, ETC., WHICH MAY BE REQUIRED. CONTRACTOR TO COORDINATE WITH TOWN OF SOUTHERN PINES PUBLIC WORKS DEPARTMENT.
- (D3) 3" DOUBLE CHECK VALVE BACKFLOW PREVENTION ASSEMBLY WITHIN INSULATED ENCLOSURE INSTALLED PER TOWN OF SOUTHERN PINES REQUIREMENTS AND STANDARD DETAIL W11.
- (D4) 3" DOMESTIC SERVICE ENTRY LOCATION INTO BUILDING. FIRE AND DOMESTIC BACKFLOW DEVICES LOCATED INSIDE BUILDING. REFER ARCH/MEP PLANS.

FIRE LINE DISTRIBUTION KEYNOTES

- (F1) FIRE (DOMESTIC) CONNECTION TO PROPOSED 8" WATER MAIN WITH TEE SLEEVE AND VALVE
- (F2) 8" 900 DR 18 PVC FIRE LINE. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ANY APPURTENANCES ON THE FIRE LINE SUCH AS BACKFLOW PREVENTION DEVICES, GATE VALVES, BENDS AND FITTINGS, ETC., WHICH MAY BE REQUIRED. CONTRACTOR TO COORDINATE WITH TOWN OF SOUTHERN PINES PUBLIC WORKS DEPARTMENT.
- (F3) PROPOSED FIRE HYDRANT AND ASSEMBLY WITH 6" SERVICE LINE AND 6" GATE VALVE. TYPICAL AS INDICATED. SEE DETAIL SHEET.
- (F4) FIRE DEPARTMENT CONNECTION AND ENTRY. CONTRACTOR TO COORDINATE WITH TOWN OF SOUTHERN PINES FIRE DEPARTMENT.
- (F5) 8" FIRE SERVICE LOOP

GRAPHIC SCALE IN FEET 0 15 30 60

NORTH

811 Know what's below. Call before you dig.

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PRELIMINARY			
KH PROJECT 015634042 DATE 07/08/2024 SCALE AS SHOWN DESIGNED BY AJF DRAWN BY JH CHECKED BY ARE	UTILITY PLAN - AREAS C&D		
WNC8 PREPARED FOR SUNCAP PROPERTY GROUP TOWN OF SOUTHERN PINES	SHEET NUMBER C504		

Plotted By: Phillip, Austin Sheet Set: WNC8 Layout: C504 - UTIL C&D July 03, 2024 11:48:40am K:\GCH\PRJ\1015634 SunCap Property Group\042 WNC8 Southern Pines\02 - DWG\PlanSheets\C502 - UTIL AREAS.dwg
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LINE LEGEND:

Table with 2 columns: Symbol and Description. Includes EASEMENT, PROPERTY LINE, RIGHT-OF-WAY, SETBACK, FIBER OPTIC LINE, GAS LINE, POWER LINE, POWER LINE (UNDERGROUND), SANITARY SEWER PIPE, STORM DRAIN PIPE, WATER LINE.

NOTES:

- 1. THIS PLAT IS NOT FOR RECORDATION AS PER G.S. 47-30 AS AMENDED.
2. ALL CORNERS MONUMENTED AS SHOWN.
3. NO RECOVERABLE NGS MONUMENT LOCATED WITHIN 2,000 FEET OF SUBJECT PROPERTY.
4. DISTANCES SHOWN HEREON ARE HORIZONTAL GROUND DISTANCES, UNLESS OTHERWISE NOTED.
5. AREA CALCULATIONS WERE DETERMINED BY COORDINATE COMPUTATION.
6. UNDERGROUND UTILITIES MAY EXIST THAT ARE NOT SHOWN HEREON. NO GUARANTEE CAN BE MADE THAT ALL UNDERGROUND UTILITIES PRESENT, EITHER IN SERVICE OR ABANDONED, ARE SHOWN. THE LOCATION OF UNDERGROUND UTILITIES SHOWN ON THIS MAP IS APPROXIMATE, BASED ON INFORMATION PROVIDED BY OTHERS OR BY FIELD LOCATION, AS OBSERVED AT THE TIME OF THIS SURVEY. UTILITY LOCATIONS AS SHOWN HEREON ARE INTENDED FOR PLANNING ONLY. ACTUAL LOCATION, SIZE, OR DEPTH OF LINE SHOULD BE VERIFIED WITH THE INDIVIDUAL UTILITY COMPANY BEFORE CONSTRUCTION. CORNERSTONE PROFESSIONAL LAND SURVEYING IS NOT LIABLE FOR MIS-IDENTIFIED, MISSING, OR WRONGLY LOCATED UTILITIES.
7. BROKEN LINES, UNLESS DESCRIBED WITH A COURSE AND DISTANCE, INDICATE PROPERTY LINES NOT SURVEYED.
8. THE OFF-SITE RIGHT-OF-WAY SHOWN HEREON IS FOR ILLUSTRATIVE PURPOSES ONLY. THE UNDERSIGNED CERTIFIES ONLY TO THE RIGHT-OF-WAYS SURVEYED, AND DOES NOT CERTIFY TO THE RIGHT OF WAY WIDTH OF ANY ADJACENT PROPERTIES.
9. ELEVATIONS BASED ON N.G.S. MONUMENT 'E 219', ELEVATION = 372.93 FEET (NAVD 88).
10. (ALTA 16) AT THE TIME OF THIS SURVEY, THERE WAS NO OBSERVED EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS.
11. (ALTA 17) AT THE TIME OF THIS SURVEY, THERE WAS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS. SURVEYOR IS UNWARE OF PROPOSED CHANGES IN STREET RIGHT OF WAY LINES.

LEGEND:

Table with 2 columns: Symbol and Description. Includes C&G - CURB & GUTTER, CB - CATCH BASIN, CCF - COMBINED GRID FACTOR, CMP - CORRUGATED METAL PIPE, CP - CALCULATED POINT, CPP - CORRUGATED PLASTIC PIPE, C/L - CENTERLINE, C/O - CLEAN OUT, CONC. - CONCRETE, D.B. - DEED BOOK, DIP - DUCTILE IRON PIPE, ECM - EXISTING CONCRETE MONUMENT, EIP - EXISTING IRON PIPE, EIR - EXISTING IRON ROD, EN - EXISTING NAIL, EOG - EDGE OF GRAVEL, EQP - EDGE OF PAVEMENT, FH - FIRE HYDRANT, GP - GATE POST, GV - GAS VALVE, GW - GUY WIRE, INV - INVERT, M.B. - MAP BOOK, N.G.S. - NATIONAL GEODETIC SURVEY, N/R - NEW IRON ROD, NN - NEW NAIL, O/HANG - OVERHANG, PB - POWER BOX, PIN - PARCEL IDENTIFICATION NUMBER, P/L - PROPERTY LINE, PM - POWER METER, PP - POWER POLE, PG - PAGE, PVC - PLASTIC PIPE, (R) - RECORDED, R/W - RIGHT-OF-WAY, RCP - REINFORCED CONCRETE PIPE, SDMH - STORM DRAIN MANHOLE, SSMH - SANITARY SEWER MANHOLE, (T) - TOTAL, TB - TELEPHONE BOX, TBM - TEMPORARY BENCHMARK, TERR. - TERRACOTTA PIPE, WM - WATER METER, WV - WATER VALVE.

ZONING:

SUBJECT PROPERTY ZONED: PD
ZONING RESTRICTIONS AS PER ZONING ORDINANCE.
SETBACKS SHOWN HEREON, PER SITE PLAN
FOR FURTHER INFORMATION CONTACT THE TOWN OF SOUTHERN PINES AT 910-692-4003.
NOTE: NO ZONING REPORT OR ZONING VERIFICATION LETTER WAS PROVIDED TO THE SURVEYOR, PURSUANT TO ALTA TABLE A ITEM 6. PURCHASER / DEVELOPER TO VERIFY ZONING RESTRICTIONS PRIOR TO DEVELOPMENT OF THIS SITE.

Table with 5 columns: CURVE, RADIUS, ARC LENGTH, CHORD BEARING, CHORD LENGTH. Includes curves C1 and C2.
Table with 3 columns: LINE, BEARING, DISTANCE. Includes lines L1 and L2.

GPS CERTIFICATION (21 NCAC 56 .1607):
I, L. NATHAN DUBOSE, CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL GPS SURVEY MADE UNDER MY SUPERVISION AND THE FOLLOWING INFORMATION WAS USED TO PERFORM THE SURVEY:
(1) CLASS OF SURVEY: A (0.10+50ppm) or ALTA(0.07+50ppm)
(2) POSITIONAL ACCURACY: 95% CONFIDENCE LEVEL
(3) TYPE OF GPS FIELD PROCEDURE: REAL-TIME KINEMATIC
(4) DATES OF SURVEY: 5/24/24
(5) DATUM/EPOCH: NAD83 (2011), NAVD88
(6) PUBLISHED/FIXED-CONTROL USE: NC RTK (VRS) NETWORK
(7) GEOID MODEL: GEOID18 (CONUS)
(8) COMBINED GRID FACTOR(S): 0.99986412
(9) UNITS: US SURVEY FEET

ALTA/NSPS CERTIFICATION:
TO: SUNCAP PROPERTY GROUP LLC, A NORTH CAROLINA LIMITED LIABILITY COMPANY; CHICAGO TITLE INSURANCE COMPANY.
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(a), 7(c), 7(d)(1), 7(c), 8, 9, 13, 16 AND 17 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON MAY 30, 2024.
L. NATHAN DUBOSE, PLS (L-4664) DATE
email: nathan@cornerstonepls.net

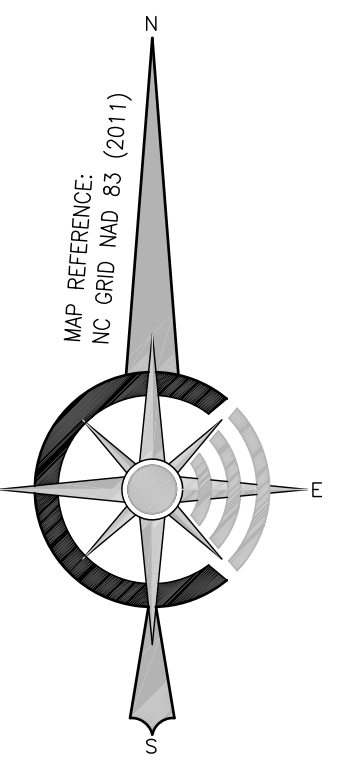


Hamilton Beach/Proctor-Silex, Inc.
D.B. 2526, Pg. 280
PIN: 858215742538

RAB Investments, LLC
D.B. 3032, Pg. 356
M.B. 14, PG. 45
PIN: 858200843785

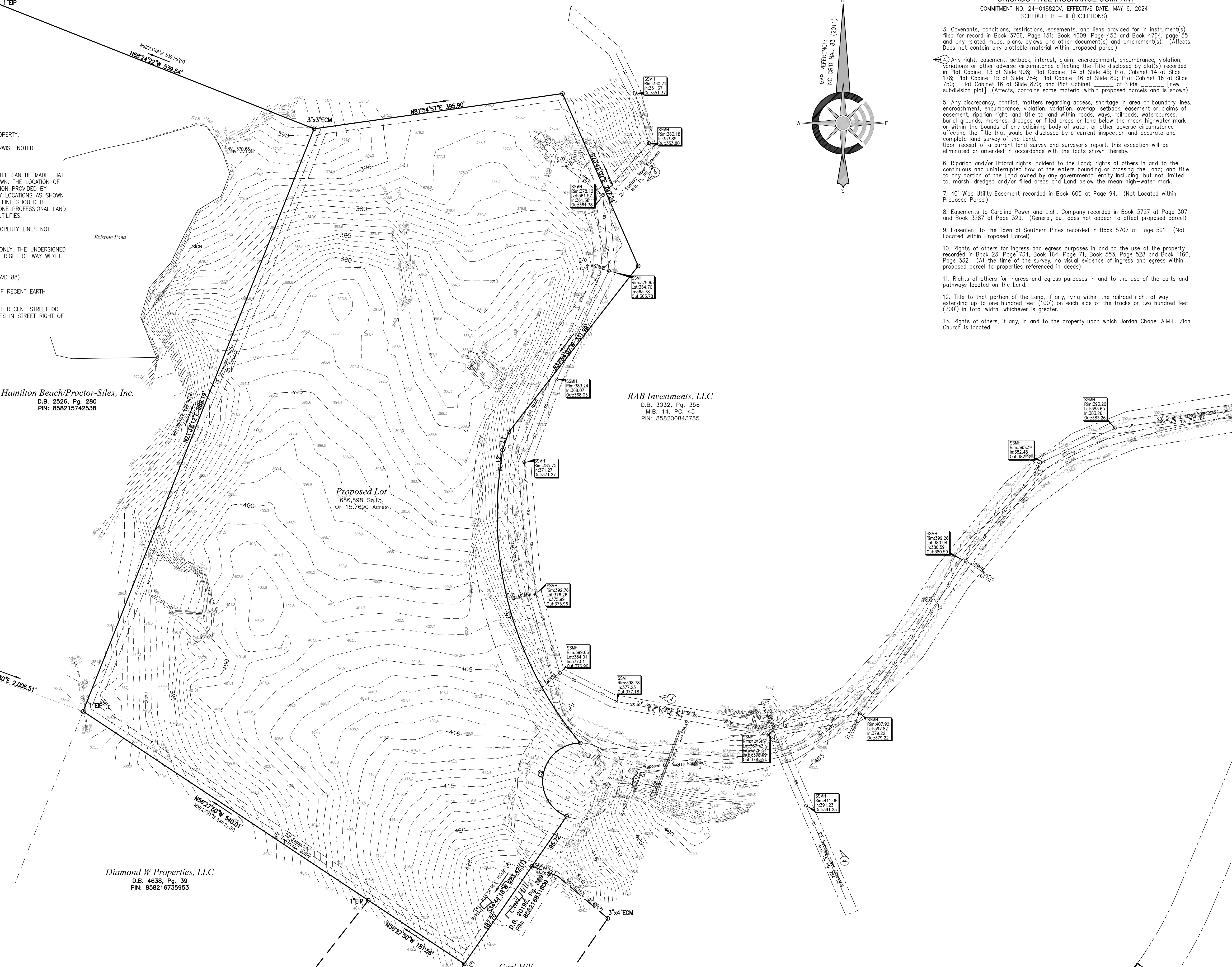
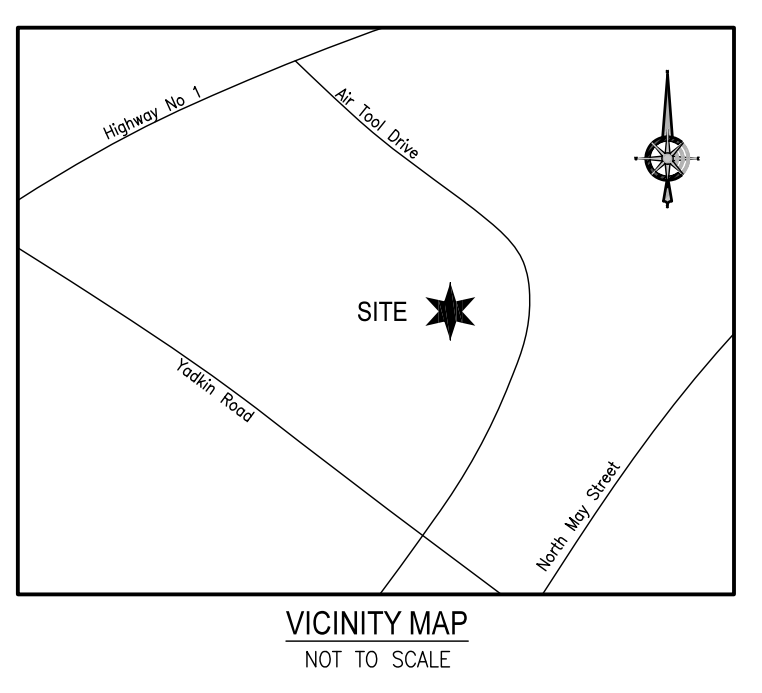
Diamond W Properties, LLC
D.B. 4638, Pg. 39
PIN: 858216735953

Carl Hill
D.B. 2019E, Pg. 389
PIN: 858216830797



CHICAGO TITLE INSURANCE COMPANY
COMMITMENT NO: 24-048820V, EFFECTIVE DATE: MAY 6, 2024
SCHEDULE B - II (EXCEPTIONS)

- 3. Covenants, conditions, restrictions, easements, and liens provided for in instrument(s) filed for record in Book 3766, Page 151; Book 4609, Page 453 and Book 4764, page 55 and any related maps, plans, bylaws and other document(s) and amendment(s). (Affects, Does not contain any platable material within proposed parcel)
4. Any right, easement, setback, interest, claim, encroachment, encumbrance, violation, variations or other adverse circumstance affecting the Title disclosed by plat(s) recorded in Plat Cabinet 13 at Slide 908; Plat Cabinet 14 at Slide 45; Plat Cabinet 14 at Slide 178; Plat Cabinet 15 at Slide 784; Plat Cabinet 16 at Slide 89; Plat Cabinet 16 at Slide 750; Plat Cabinet 16 at Slide 870; and Plat Cabinet _____ at Slide _____ (new subdivision plat) (Affects, contains some material within proposed parcels and is shown)
5. Any discrepancy, conflict, matters regarding access, shortage in area or boundary lines, encroachment, encumbrance, violation, variation, overlap, setback, easement or claims of easement, riparian right, and title to land within roads, ways, railroads, watercourses, burial grounds, marshes, dredged or filled areas or land below the mean highwater mark or within the bounds of any adjoining body of water, or other adverse circumstance affecting the Title that would be disclosed by a current inspection and accurate and complete land survey of the Land. Upon receipt of a current land survey and surveyor's report, this exception will be eliminated or amended in accordance with the facts shown thereby.
6. Riparian and/or littoral rights incident to the Land; rights of others in and to the continuous and uninterrupted flow of the waters bounding or crossing the Land; and title to any portion of the Land owned by any governmental entity including, but not limited to, marsh, dredged and/or filled areas and Land below the mean high-water mark.
7. 40' Wide Utility Easement recorded in Book 605 at Page 94. (Not Located within Proposed Parcel)
8. Easements to Carolina Power and Light Company recorded in Book 3727 at Page 307 and Book 3287 at Page 329. (General, but does not appear to affect proposed parcel)
9. Easement to the Town of Southern Pines recorded in Book 5707 at Page 591. (Not Located within Proposed Parcel)
10. Rights of others for ingress and egress purposes in and to the use of the property recorded in Book 23, Page 734, Book 164, Page 71, Book 553, Page 528 and Book 1160, Page 332. (At the time of the survey, no visual evidence of ingress and egress within proposed parcel to properties referenced in deeds)
11. Rights of others for ingress and egress purposes in and to the use of the carts and pathways located on the Land.
12. Title to that portion of the Land, if any, lying within the railroad right of way extending up to one hundred feet (100') on each side of the tracks or two hundred feet (200') in total width, whichever is greater.
13. Rights of others, if any, in and to the property upon which Jordan Chapel A.M.E. Zion Church is located.



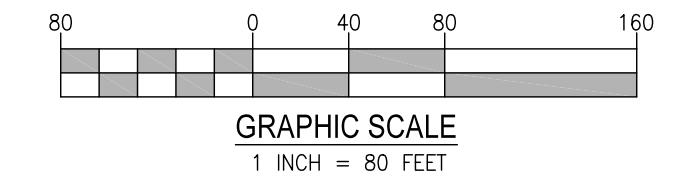
FLOOD CERTIFICATION:
THIS IS TO CERTIFY THAT THE SUBJECT PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON MAPS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION, DATED OCTOBER 17, 2006; FEMA MAP NO. 3710858200J (ZONE X)

PRELIMINARY PLAT
NOT FOR RECORDATION
CONVEYANCE OR SALES

SURVEYOR'S CERTIFICATE (21 NCAC 56 .1604):
I CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN BOOK 3032, PAGE 356; THAT THE BOUNDARIES NOT SURVEYED ARE INDICATED AS DRAWN FROM INFORMATION SHOWN HEREON; THAT THE POSITIONAL ACCURACY IS 0.07+50PPM; AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56 .1600).



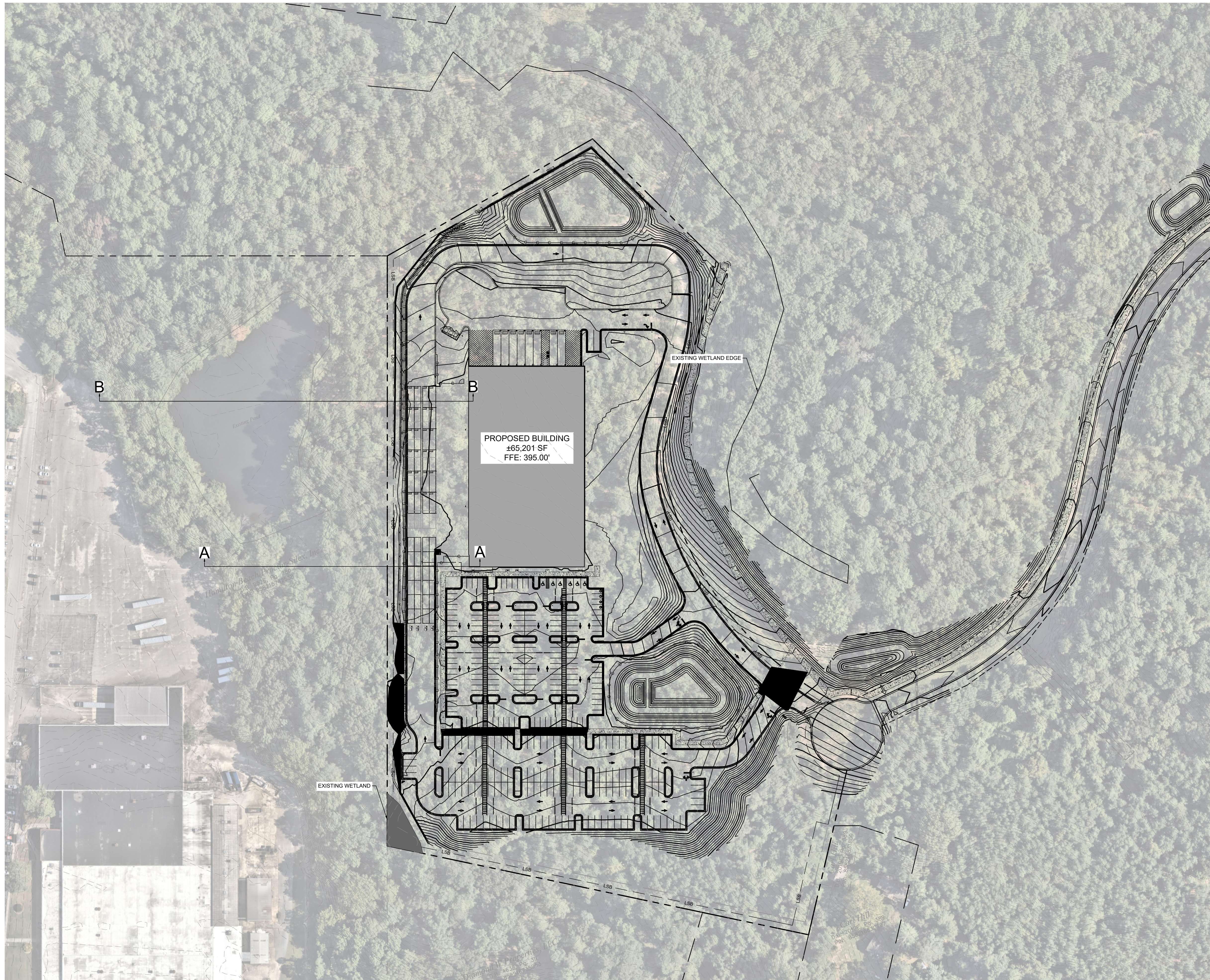
Table with 2 columns: CREW, DRAWN, REVISED, SCALE, DATE, JOB NO. Includes fields for scale (1" = 80'), date (MAY 30, 2024), and job no. (2024-137).



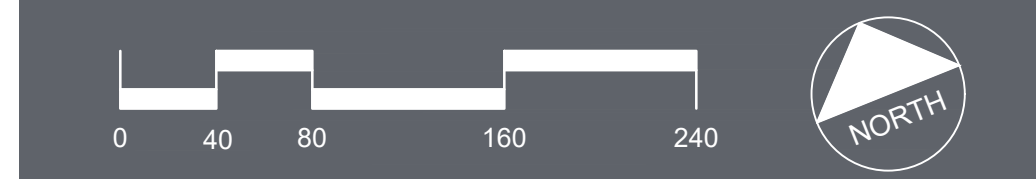
Area = 686,898 Sq.Ft. Or 15.7690 Acres

ALTA/NSPS LAND TITLE SURVEY PREPARED FOR:
SUNCAP PROPERTY GROUP, LLC
AIR TOOL DRIVE
SOUTHERN PINES, MOORE COUNTY, NORTH CAROLINA
DEED REFERENCE: BOOK 3190, PAGE 564
MAP REFERENCE: M.B. 15, PG. 784 & M.B. 14, PG. 45
TAX PARCEL NO: 858200843785

Plotted By: Filip, Austin Sheet Set: WNC8 - LAYOUT/VIEWSHED ANALYSIS August 06, 2024 10:58:10am K:\CHL_PRL\015634 SunCap Property Group\042 WNC8 Southern Pines\02 - DWG\Exhibit\07 Viewshed Analysis\Viewshed Analysis.dwg



PROPOSED PROPERTY LEGEND	
	PROPERTY LINE
	EXISTING RIGHT-OF-WAY
	PROPOSED BUILDING SETBACK
	PROPOSED DRAINAGE EASEMENT
	LANDSCAPE BUFFER



Plotted By: Filip, Austin Sheet Set: WNC8 - Layout: VIEWSHED ANALYSIS (2) August 06, 2024 10:58:23am K:\CHL_PRL\015634_SunCap_Property_Group\042_WNC8_Southern_Pines\02 - DWG\Exhibit_L07 Viewshed Analysis\Views\Views.dwg

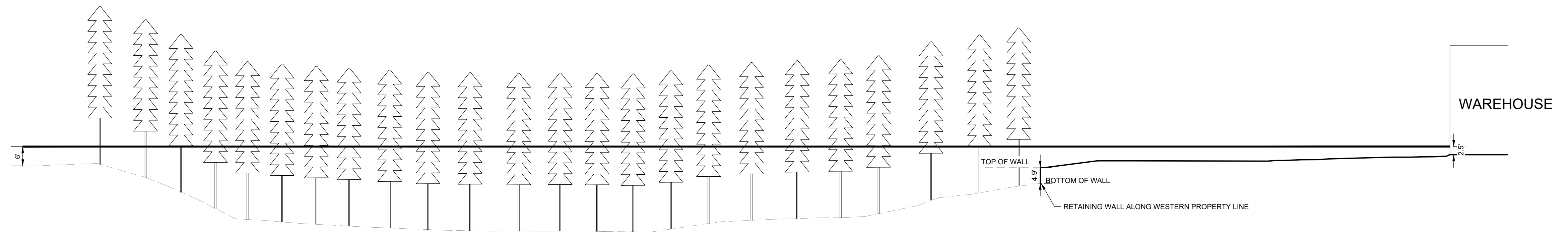


EXHIBIT A - SOUTHERN RETAINING WALL VIEWSHED SECTION



EXHIBIT A - STREET VIEW OF SECTION

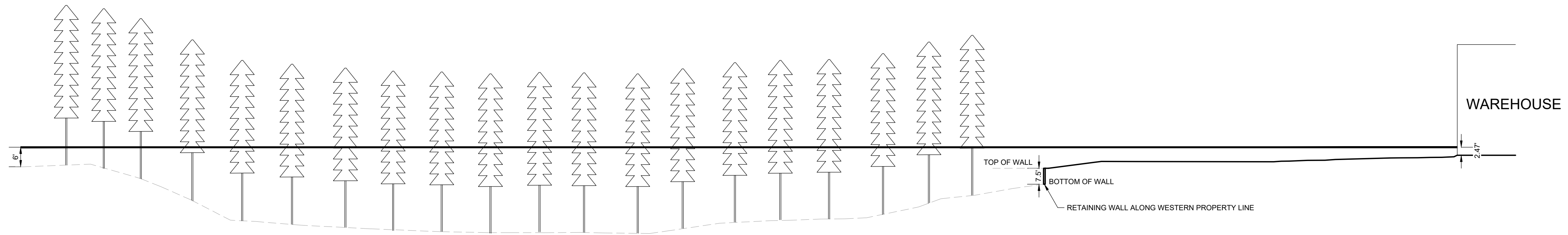


EXHIBIT B - SOUTHERN RETAINING WALL VIEWSHED SECTION

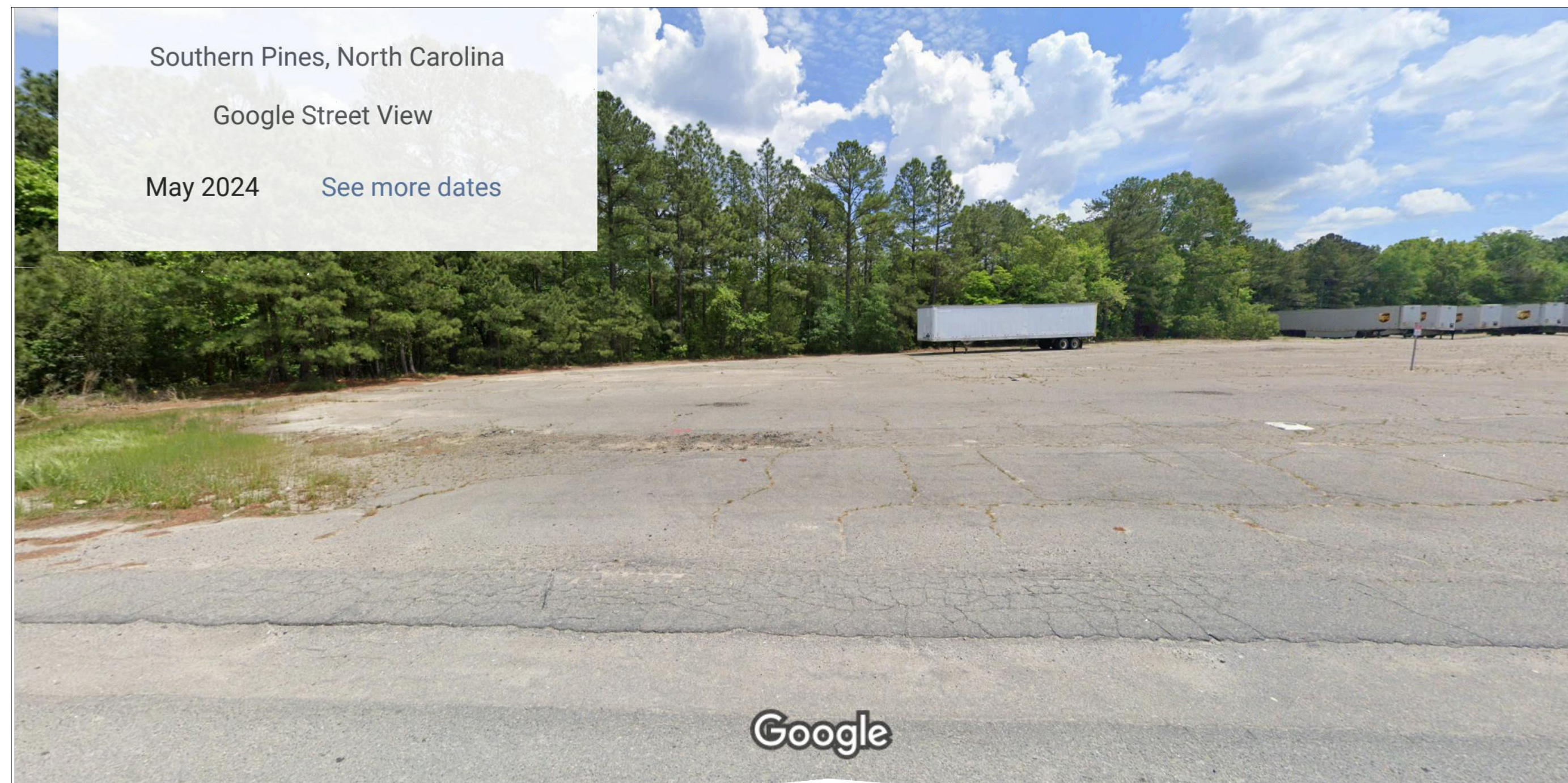


EXHIBIT B - STREET VIEW OF SECTION

Plotted By: Filip, Austin Sheet Set: WNC8 - Layout: VIEWSHED ANALYSIS (3) August 06, 2024 10:58:40am K:\CHL_PRL\015634 SunCap Property Group\042 WNC8 Southern Pines\02 - DWG\Exhibit\07 Viewshed Analysis\Viewshed Analysis.dwg

VILLAGE APPRAISERS, LLC

270 McCaskill Road East, Suite B
PO Box 1734
Pinehurst, NC 28370
fdean@pinehurst.net
lqiri@pinehurst.net

July 3, 2024

Town of Southern Pines Planning Department
Attn: BJ Grieve, Planning Director
801 SE Service Road
Southern Pines, NC 28087

Re: WNC8 Distribution Center Preliminary Development Plan

Dear Mr. Grieve:

We have been engaged by Patrick Theodossiou, Development Director, SunCap Property Group to determine if the proposed 65,201-sq. ft. distribution warehouse on a 15.42-acre portion of Tax Parcel No. 00039569 off Air Tool Drive in Southern Pines “shall not substantially diminish or impair the property values within the Neighborhood.” The criteria we have been asked to provide support for is in Section 2.21.6. of the Town of Southern Pines Uniform Development Ordinance.

(D) The proposed use shall not impede the orderly Development and improvement of surrounding property for uses permitted within the zoning district or substantially diminish or impair the property values within the Neighborhood;
--

I. Summary

Our scope of work for the research to support our conclusion that the “proposed use shall not substantially diminish or impair the property values within the Neighborhood” is below.

- We made a site visit to the Southern Pines Corporate Park & Nature Preserve and the surrounding neighborhood; photographed the subject site and surrounding improvements; and viewed or photographed the adjoining or abutting properties.
- We interviewed market participants, including real estate brokers, landlords, tenants, and tax assessors.
- We located new industrial construction and verified that the lease rates of the surrounding properties were not adversely impacted as a result of the new improvements. The first example is located in the subject neighborhood, the second is in the Simpson Industrial Park in Sanford, and the third is a single-family residential sale across Yadkin Road from Example 1. These three examples support that new improvements in existing industrial /corporate parks do not substantially diminish or impair the property values within the Neighborhood.

This home was listed for sale on December 28, 2021, for \$360,000. It went under contract to purchase on January 7, 2022, for \$397,000 (net) and closed on February 17, 2022. The sale price was bid up.

The land for the development of the BHAWK Distillery was purchased in November 2020 and it was well publicized in the June 22, 2021, edition of The Pilot newspaper that construction would begin in the near future. The preliminary development plan (PDP) was submitted to the Town of Southern Pines Planning Department on April 12, 2021, and approved by the Town Council on June 9, 2021. We confirmed with the buyer's agent that the buyer was aware of the pending distillery construction and that it did not have any adverse influence on their decision to purchase the home or on the purchase price.

V. Conclusion

The income generated by properties that are leased is directly correlated with value. When the lease rates decrease, the values correspondingly decrease as well. Given that the leases of the properties around the two new construction examples did not decrease, there was no diminution in value as a result of the new improvements. Additionally, with the knowledge of the pending construction of the BHAWK Distillery across the road from Example 3 the buyer bid up the purchase price over 10 percent to purchase the property. No diminution in value was the result.

Based on this data and our professional experience as commercial real estate appraisers, we are of the opinion that the proposed distribution improvements shall not substantially diminish or impair the property values within the Neighborhood.

Should you have any questions, please do not hesitate to contact us.

Respectfully submitted,



Elizabeth Ann Giri
North Carolina State-Certified
General Real Estate Appraiser
Certificate No. A7964



A. Franklin Dean, MAI
North Carolina State-Certified
General Real Estate Appraiser
Certificate No. A5221

ASSUMPTIONS AND LIMITING CONDITIONS:

1. The information furnished by others is believed to be reliable. However, no warranty is given for its accuracy.
2. All engineering is assumed to be correct. Any plot plans and illustrative material in this report is included only to assist the reader in visualizing the property.
3. Maps and exhibits found in this report are provided for reader reference purposes only. No guarantee as to accuracy is expressed or implied unless otherwise stated in this report. No survey has been made for the specific purpose of this report.
4. Possession of this report, or copy thereof, does not carry with it the right of publication. It may not be used for any purpose by any person other than the party to whom it is addressed without the written consent of the appraiser, and in any event, only with proper written qualification and only in its entirety.
5. Neither all nor any part of the contents of this report (especially any conclusions, the identity of the appraiser, or the firm with which the appraiser is connected) shall be disseminated to the public through advertising, public relations, news sales, and other media without prior written consent and approval of the appraiser.

CERTIFICATION:

We certify that, to the best of our knowledge and belief:

1. The statements of fact contained in this report are true and correct.
2. The reported analyses, opinions, and conclusions are limited only by the reported assumptions and limiting conditions, and are our personal, unbiased professional analyses, opinions, and conclusions.
3. We have no present or prospective interest in the property that is the subject of this report and we have no personal interest or bias with respect to the parties involved.
4. We have no bias with respect to the properties that are the subjects of this report or to the parties involved with this assignment.
5. Our engagement in this assignment was not contingent upon the development or reporting of a predetermined conclusion that favors the client, the attainment of a stipulated result, or the occurrence of a subsequent event directly related to the intended use of this report.
6. Our analyses, opinions, and conclusions were developed, and this report has been prepared in conformity with the Uniform Standards of Professional Appraisal Practice.
7. No one provided significant professional assistance to the person or persons signing this report.
8. The reported analyses, opinions, and conclusions were developed, and this report has been prepared, in conformity with the requirements of the Code of Professional Ethics of the Appraisal Institute and the Uniform Standards of Professional Appraisal Practice.
9. The use of this report is subject to the requirements of the Appraisal Institute relating to review by its duly authorized representatives.



Elizabeth Ann Giri
North Carolina State-Certified
General Real Estate Appraiser
Certificate No. A7964



A. Franklin Dean, MAI
North Carolina State-Certified
General Real Estate Appraiser
Certificate No. A5221

AIR TOOL DRIVE INDUSTRIAL

Transportation Impact Analysis

Air Tool Drive
Southern Pines, North Carolina

Prepared for:
SunCap Property Group



July 2024

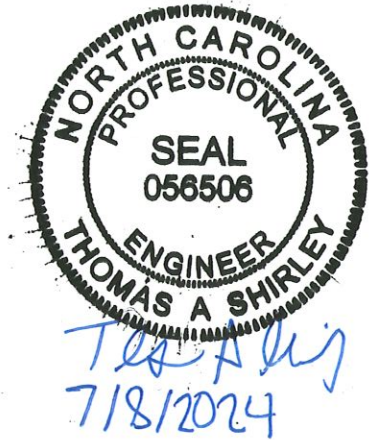
© Kimley-Horn and Associates, Inc., 2024

Kimley»Horn

Traffic Impact Analysis for
Air Tool Drive Industrial
Southern Pines, North Carolina

Prepared for:

SunCap Property Group
Charlotte, North Carolina



Prepared by:

Kimley-Horn and Associates, Inc.
NC License #F - 0102
200 South Tryon Street, Suite 200
Charlotte, North Carolina 28202
(704) 333-5131

July 2024
015634042

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1.0 Executive Summary

The purpose of this Traffic Impact Analysis (TIA) is to evaluate the vehicular traffic impacts of the proposed Air Tool Drive Industrial site on the surrounding transportation infrastructure. The primary objectives of the study are:

- To estimate trip generation and distribution for the proposed development.
- To perform intersection capacity analyses for the identified study area.
- To determine the potential traffic impacts of the proposed development.
- To identify roadway and operational improvements to accommodate the proposed development's traffic impacts.
- To field evaluate intersection sight distance for the proposed site access.

The Air Tool Drive Industrial Site is located north of Yadkin Road and east of US 1 along Air Tool Drive in Southern Pines, North Carolina. As currently envisioned, the proposed development will consist of a 65,201 square feet (SF) Distribution Center when fully built out in 2025.

The proposed development is planned to be accessed via the following access point:

- Access A – An unsignalized, full-movement access on Air Tool Drive approximately 1,900 feet north of Yadkin Road.

The overall site density did not meet North Carolina Department of Transportation's (NCDOT's) TIA threshold, which is based on exceeding 3,000 trips per day. However, the site did meet the Town of Southern Pines' TIA threshold, which is based on exceeding 500 trips per day and 50 trips per hour through a single access. NCDOT's TIA Scoping Checklist was developed that documented the scoping parameters to be used for the TIA and agreed upon by Town of Southern Pines and NCDOT staff. The approved Scoping Checklist and subsequent correspondence are included in the **Appendix**.

The Town of [Southern Pines' Unified Development Ordinance \(UDO\)](#) requires the study of the build-out traffic conditions for both the site build-out and 10-year projections. Therefore, the following AM and PM peak-hour scenarios were analyzed to determine the proposed development's transportation impacts on the surrounding network:

- 2024 Existing Conditions
- 2025 Background Conditions
- 2025 Build-out Conditions
- 2034 Background Conditions
- 2034 Build-out Conditions

Based on coordination with the Town and NCDOT, this TIA evaluated operations in each scenario at the following intersections:

1. Yadkin Road (SR 2029) and N May Street (SR 2080)
2. Yadkin Road (SR 2029) and Air Tool Drive/Clark Street (SR 2032)
3. Air Tool Drive and Aro Road
4. US 1 and Air Tool Drive/St. Joseph Road (Future)
5. Yadkin Road (SR 2029) and US 1 NB on Ramp
6. Access A and Air Tool Drive

Kimley-Horn was retained to determine the potential traffic impacts of this development (in accordance with the traffic study guidelines in the [NCDOT Policy on Street and Driveway Access to North Carolina Highways](#) and [Southern Pines' \(UDO\)](#) to identify traffic improvements that may

be required to mitigate these impacts. This report presents trip generation, distribution, capacity analyses, turn lane warrant review, crash analyses, intersection sight distance, and identified traffic improvements recommended to mitigate anticipated traffic demands produced by the subject development.

Based on the capacity analyses performed at the identified study intersections, along with a review of the auxiliary turn-lane warrants, crash analyses, and intersection sight distance contained herein, **the proposed Air Tool Drive Industrial site is not expected to have a significant adverse impact on operations at the off-site study area intersections; therefore, no additional mitigation improvements beyond the necessary laneage required for site access (listed below) is recommended to accommodate the proposed Air Tool Drive Industrial site.** Each study area intersection is projected to continue to operate with similar operations with the addition of the proposed site traffic as compared to 2025 and 2034 background conditions during both peak hours.

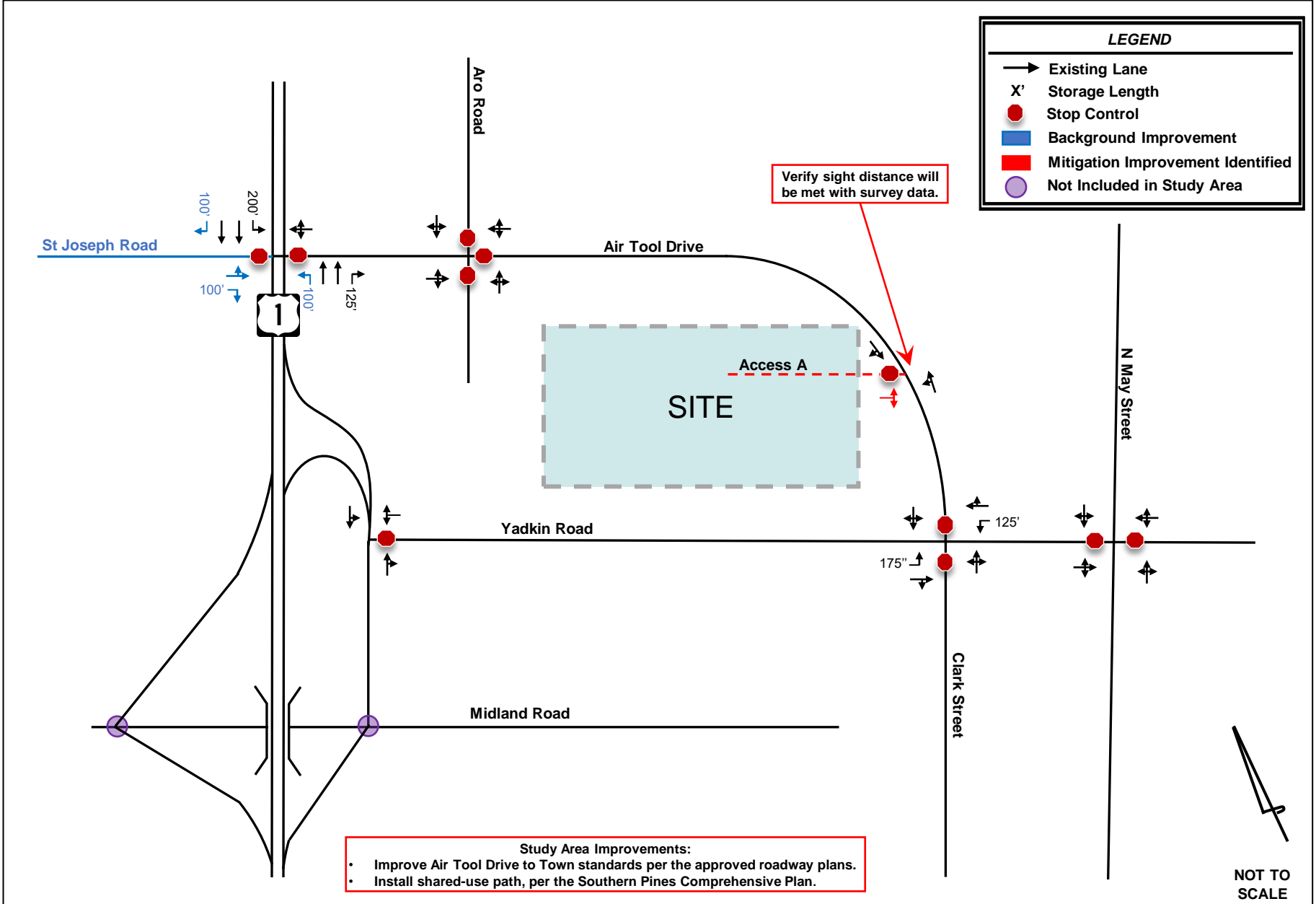
Access A and Air Tool Drive

- Construction of Access A with one ingress lane, one egress lane, and stop control.
- Verify sight distance will be met with survey data.
 - Mitigation measures (clearing of brush, etc) will be taken as needed to provide for appropriate sight distance.

Study Area Improvements

- Improve Air Tool Drive to Town standards per the approved roadway plans.
 - This includes construction of sidewalk along Air Tool Drive.
- Install shared-use path, per the Southern Pines Comprehensive Plan.

The mitigation improvements identified within the study area are shown in **Figure 1.1**. The improvements shown on this figure are subject to approval by NCDOT and the Town of Southern Pines. All additions and attachments to the State and Town roadway system shall be properly permitted, designed, and constructed in conformance to standards maintained by the agencies.





Public Works Department

801 SE Service Road
Southern Pines, NC 28387

Phone (910) 692-1983
Fax (910) 692-9495

June 28, 2024

To whom it may concern:

RE: Water and Sewer Availability for the WNC8 Project

The current Owner of the proposed project has requested an estimated water and sewer capacity of 1,234 gallons per day (gpd) per email dated June 27, 2024. The Town's existing water and sewer systems have the overall system capacity to serve the project based on the submitted request. Project engineer will be required to determine fire flow requirements and provide testing and calculations confirming the project will meet applicable fire code. All water and sanitary sewer main extensions to serve the site will be the responsibility of the Owner in accordance with all Federal, State, and Local laws, rules, regulations, and ordinances.

Respectfully,
Town of Southern Pines

James Michel, PE, MBA
Town Engineer/Asst. Public Works Director

Your availability of service

Thank you for your inquiry regarding availability of service. This letter confirms that electric service is available for your proposed project located at 300 Air Tool Dr Southern Pines, NC 28387.

This service will be provided after all relevant easement and rights of way have been recorded and in accordance with the North Carolina Utilities Commission and Duke Energy rules and regulations.

If you need additional information or have questions, please call us at 800.452.2777 during the hours of 7 a.m. to 7 p.m., Monday through Friday.

Para español, visite duke-energy.com/español o bien, llame al 800.452.2777 para hablar con un representante que habla español.

Sincerely,
Paulina

BUILDING A SMARTER ENERGY FUTURE®



[Privacy Policy](#) | duke-energy.com

Duke Energy | 526 South Church Street | Charlotte, NC 28202

© Duke Energy Corporation. All Rights Reserved.



4720 Corporation Dr.
Fayetteville, NC 28306

June 12th, 2024

Kimley-Horn
Austin Phillip
5301 Southwest Parkway Bldg 2 Ste 100
Austin, TX 78735

RE: Pin# 00039569; Moore County NC

To Whom It May Concern,

This letter is to verify that Piedmont Natural Gas owns and operates a 3 inch steel gas main that runs along Yadkin Rd on the opposite side of the parcel listed above. Therefore; natural gas is available for the physical address of 115 Yadkin Rd Southern Pines NC. If there are any additional questions or concerns please feel free to contact me as my information is below. Thank you.

Sincerely,

Antonio Richardson

Antonio Richardson
Energy Specialist
antonio.richardson@duke-energy.com
910-321-2949 office
910-644-0342 mobile
910-829-0215 fax

**Application for Conditional Use
Planning and Development Department
Town of Southern Pines**

TO THE PLANNING BOARD AND TOWN COUNCIL:

I, the undersigned, do hereby make application to and petition the Planning Board and Town Council to grant a Conditional Use Permit as required in the Zoning Ordinance. In support of this application, the following facts are shown:

The property sought for Conditional Use is located on the North side of Yadkin Rd. (Street/Avenue) between Trimble Rd + May St (Street/Avenue). The address known as Pin Number 050210047010 and LRK Number 39569. It has a frontage of 690 feet and a depth of 215 feet, containing 104.79 acres.

The conditional use sought is based on Section(s) 57 of the Southern Pines Zoning Ordinance. The property in question is located in a Industrial zoning district and is proposed for the following use:

Industrial / Commercial development including
a daycare center and restuarant.

The following are all individuals, firms or corporations owning property a minimum of 100 feet adjacent to both sides and rear, and the property across the street from the property described above:

Pin Number	LRK Number	Name	Address
<u>(See attached)</u>			

I certify that all information furnished in this application is accurate to the best of my knowledge.

Petitioner: ROBERT A BAILLIE

Signature:

Mailing Address: P.O 385

Phone # 910 944-0441 Robert Baillie

SOUTHERN PINES NC

Property Owner: ROBERT BAILLIE

910

Signature:

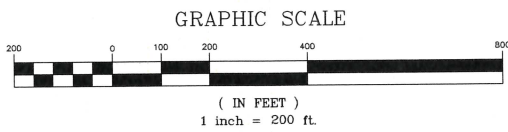
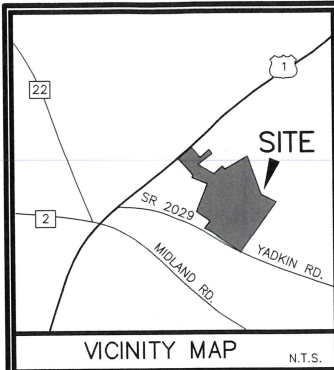
Mailing Address: SAME

Phone # 944-0441 Robert Baillie

Property owner's signature is required before application is accepted.

Note: If a corporation makes the request, the names and addresses of all officers in the corporation must be provided.

The applicant or his representative is expected to attend all meetings to answer questions concerning the request. The absence of the applicant is sufficient grounds to warrant a deferral of action by the Planning Board and/or Town Council.



RAB INVESTMENTS, OWNER
 P.O. BOX 385
 SOUTHERN PINES, NC 28388
 910-944-0441

PHASE 1 STREETS - 86,305 SF PAVEMENT
 PHASE 2 STREETS - 74,000 SF PAVEMENT

PROPERTY INFORMATION
 LRK NUMBER - 39569

NC FLOODPLAIN
 ZONE X (500 YEAR) PER WWW.NCFLOODMAPS.COM

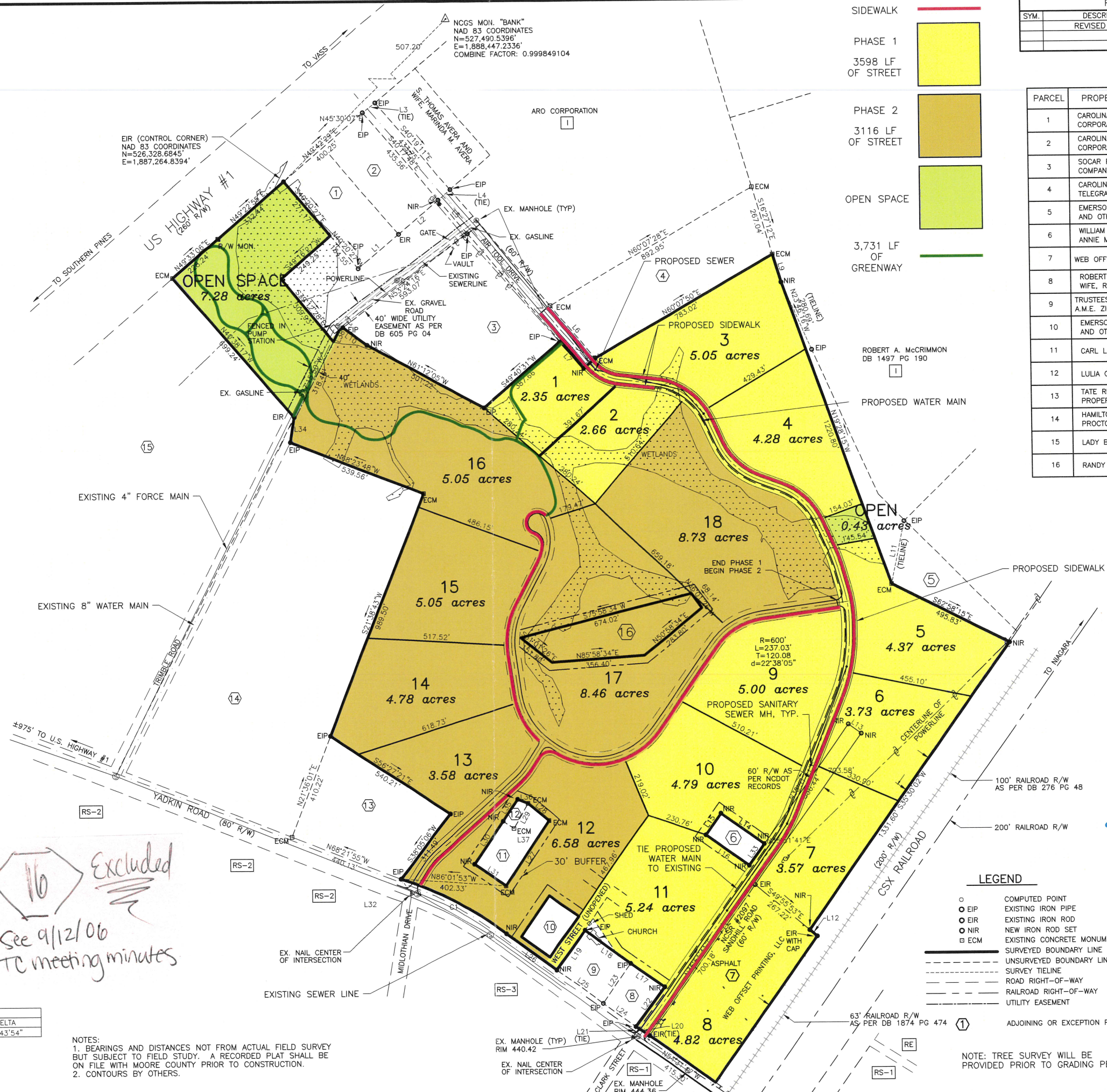
AREA INFORMATION
 4,723,646.40 sf 108.44 ACRES (GROSS)
 -158,994 sf -3.65 ACRES (OUT)
 4,564,652.40 sf 104.79 ACRES (NET)

LINE	LENGTH	BEARING
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L2	200.02	N49°41'03"E
L3	59.80	S51°31'49"W
L4	59.94	S49°47'27"W
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L7	136.75	S40°18'44"E
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L37	49.87	N56°05'26"W

CURVE	RADIUS	LENGTH	BEARING	CHORD	DELTA
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NOTES:
 1. BEARINGS AND DISTANCES NOT FROM ACTUAL FIELD SURVEY BUT SUBJECT TO FIELD STUDY. A RECORDED PLAT SHALL BE ON FILE WITH MOORE COUNTY PRIOR TO CONSTRUCTION.
 2. CONTOURS BY OTHERS.

16 Excluded
See 9/12/06 TC meeting minutes



- SIDEWALK
- PHASE 1
3598 LF OF STREET
- PHASE 2
3116 LF OF STREET
- OPEN SPACE
3,731 LF OF GREENWAY

REVISIONS			
SYM.	DESCRIPTION	DATE	BY
	REVISED TRAILS	9/11/06	FMH

PARCEL	PROPERTY OWNER	USE
1	CAROLINA SELF-STORAGE CORPORATION OF N.C.	I
2	CAROLINA SELF-STORAGE CORPORATION OF N.C.	I
3	SOCAR REALTY COMPANY, INC.	I
4	CAROLINA TELEPHONE & TELEGRAPH COMPANY	I
5	EMERSON W. HARRINGTON AND OTHERS	I
6	WILLIAM KING AND ANNIE MCKINEY	I
7	WEB OFFSET PRINTING, LLC	I
8	ROBERT WALDEN, JR. & WIFE, RUTH HILL WALDEN	I
9	TRUSTEES, JORDAN CHAPEL A.M.E. ZION CHURCH	I
10	EMERSON W. HARRINGTON AND OTHERS	I
11	CARL L. HILL	I
12	LULIA CHANDLER (SINGLE)	I
13	TATE RENTAL PROPERTIES, LLC	I
14	HAMILTON BEACH/PROCTOR-SILEX, INC.	I
15	LADY BUILDERS, LLC	I
16	RANDY BROWER	I

- LEGEND
- COMPUTED POINT
 - EIP EXISTING IRON PIPE
 - EIR EXISTING IRON ROD
 - NIR NEW IRON ROD SET
 - ECM EXISTING CONCRETE MONUMENT
 - SURVEYED BOUNDARY LINE
 - - - UNSURVEYED BOUNDARY LINE
 - - - SURVEY TIE LINE
 - - - ROAD RIGHT-OF-WAY
 - - - RAILROAD RIGHT-OF-WAY
 - - - UTILITY EASEMENT
 - ① ADJOINING OR EXCEPTION PARCEL NUMBER

NOTE: TREE SURVEY WILL BE PROVIDED PRIOR TO GRADING PERMIT.

Hobbs, Upchurch & Associates, P.A.
 Consulting Engineers, Surveyors & Land Planners
 Southern Pines, North Carolina 28387
 300 S.W. Broad Street, Southern Pines, North Carolina 28387
 Phone: (910) 692-5616 - Fax: (910) 692-7342

CUP PLAN SCENARIO #1

SOUTHERN PINES CORPORATE PARK

DATE: AUGUST 2006
 DESIGNED: JH
 DRAWN: WW
 CHECKED: JH
 SCALE: NOTED
 SHEET NO. C-2
 OF 3

Town of Southern Pines

Conditional Use Permit Acknowledgement

On the dates listed below, the Town council of the Town of Southern Pines met and held a public hearing to consider, and met to act upon, the following application:

Applicant Robert A. Ballie

Property Location Located on the North side of Yadkin Road between May Street/CSX Railroad and US Hwy. #1 with a PIN # 858216847618 and LRK number of 39569 on approximately 104.79 acres.

File Number: CU-03-06

Proposed Use of Property Industrial / Commercial Subdivision

Meeting Dates Public Hearing on application: August 8, 2006 and September 12, 2006
Final action on application: September 12, 2006

Having heard all the evidence and arguments presented at the hearing and having considered other relevant factors, the Town Council found that the application is complete, complies with all the applicable requirements to the Town of Southern Pines Unified Development Ordinance and, the evidence having failed to establish any disqualifying conditions under sub-section 54(d) of the Unified Development Ordinance, the Conditional Use Permit to make use of the above-described property for the purpose stated was approved and issued, subject to all applicable provisions of the Unified Development Ordinance.

I, ROBERT A BAILLIE, owner of the above-described property, do hereby acknowledge issuance of the Conditional Use Permit.

Robert A. Baillie
 Owner(s)
 When recording show owner(s) as Robert A. Ballie

NORTH CAROLINA
MOORE COUNTY

I, Casey Salyer, a Notary Public for said County and State, do hereby certify that Robert Baillie,
 either 1.) being personally known to me or 2.) having presented to me _____ as
 satisfactory evidence of his or her identity, appeared before me this day and acknowledged that he or she duly executed
 the foregoing instrument and that said instrument was signed by him or her voluntarily for the purposes stated therein
 and acknowledged the due execution of the foregoing instrument.

Witness my hand and official seal, this the 21 day of September, 2006.



My Commission Expires
12/21/2010

[Signature]
 Notary Public



March 19, 2007

Re: Southern Pines Corporate Park

Gentlemen:

The Town of Southern Pines has received from the North Carolina Department of Transportation a letter addressing the driveway permit requirements for the road improvements in the Southern Pines Corporate Park. A copy is enclosed.

This letter confirms that access to Lot #3, and existing businesses, is permitted under the existing driveway permit for Air Tool Drive. On that basis we are proceeding to award the contract for the construction of the proposed roadway extension. It is important that each of you recognize, however, that the NCDOT is **not** allowing access to the road from any other lot, including Lot #8, unless and until a new driveway permit for the connection between Air Tool Drive and Yadkin Road has been issued. That driveway permit, in turn, is contingent upon the completion of the TIA and any improvements that are required as a result. I want you to be sure to be aware that Southern Pines will not be able to issue a building permit for Lot #8, or any other lot other than Lot #3, until the new driveway permit is issued by the North Carolina Department of Transportation.

Please contact me if you have any questions or concerns. With all best wishes, I am,

Sincerely,

David White, Assistant Town Manager
Director of Public Services
Town of Southern Pines

C: Reagan Parsons, Town Manager
Bart Nuckols, Town Planner
Travis Morgan, Town Engineer
Doug Gill, Town Attorney
Bob Bailey, R. A. B. Investments

Fred Hobbs, PE, Hobbs, Upchurch & Associates, PA
Jarrod Hilliard, E.I., Project Manager, Hobbs, Upchurch & Associates, PA
Chris Jordan, O'Conner Company of NC, Inc.
Sanford Contractors
C. E. Dumas, Jr., PE, NCDOT, District Engineer
Ray Ogden, Director, Partners in Progress



STATE OF NORTH CAROLINA
DEPARTMENT OF TRANSPORTATION
DIVISION OF HIGHWAYS

MICHAEL F. EASLEY
GOVERNOR

LYNDO TIPPETT
SECRETARY

March 16, 2007

MOORE COUNTY

Mr. Jarrod Hilliard, EI
Hobbs, Upchurch, and Associates
300 Southwest Broad Street
Southern Pines, NC 28387

**SUBJECT: DRIVEWAY PERMIT – Access to US 1 and Yadkin Road
Southern Pines Corporate Park
Permit # 63-82901**

Dear Mr. Hilliard:

We have received the subject driveway permit application, traffic study and site plans for the subject development located along US 1 and SR 2029, Yadkin Road. The site plans, and traffic study are being reviewed for compliance with NCDOT's *Policy on Street and Driveway Access to North Carolina Highways*. Once the review has been completed and any revisions that may be necessary have been made, we anticipate issuance of a driveway permit for the overall site.

In addition, we have received supplemental analysis for a phase of the development for lots 3 and 8. We have reviewed the supplemental analysis, and offer the following comments:

- Proposed roadway extension(s) may be completed and serve Lot No. 3 only (in addition to existing businesses) under the existing driveway permit for the connection of road extension between Yadkin Road and Air Tool Drive, but it may not serve any additional lots, including Lot No. 8 until a new driveway permit is issued following review of the overall TIA and completion of any necessary mitigation.
- Please note that Sandhill Road is proposed to become a Town of Southern Pines maintained street. If the process of adding it to the Town system has not been completed by the time construction begins, then a driveway permit application will be needed for the tie in to Sandhill Road.

Please note that impacts of traffic generated by lot 3 will still be considered in the overall review of the TIA. If this office can be of further assistance, please advise.

Sincerely

A handwritten signature in black ink, appearing to read "C E Dumas Jr PE".

C E Dumas Jr PE
District Engineer

CED

cc: Tim Johnson, PE
Travis Morgan, PE
Rynal Stevenson, PE
File

P. O. Box 1067, Aberdeen, North Carolina 28315
Phone (910) 944-7621 Fax (910) 944-5623

Agenda Item

To: Reagan Parsons, Town Manager
From: Bart S. Nuckols, ^{BW} Planning Director
Subject: CU-02-95 Southern Pines Corporate Park
Date: June 12, 2007

Attached is a request for a minor modification to CU-03-06 Southern Pines Corporate Park. The request is for the additional subdivision of lot #11 creating an additional lot. Lot #11 would be divided to show 11A and 11B. Attached are maps showing the existing permitted lot layout and the proposed modification.



Hobbs, Upchurch & Associates, P.A.

Consulting Engineers

300 S.W. Broad Street • Post Office Box 1737 • Southern Pines, NC 28388

May 10, 2007

Mr. Bart Nuckols, Director
Town of Southern Pines
Department of Planning and Inspections
180 SW Broad Street
Southern Pines, NC 28387

Re: Southern Pines Corporate Park

Dear Mr. Nuckols:

In regard to the above referenced project, we would like address the issue of previously planned development of this site. RAB investments would like to request additional subdivision of Lot #11 in order to produce a 2 acre lot for an interested buyer.

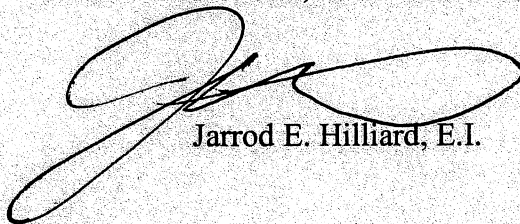
We wish to request a minor modification to the development based upon the attached proposed subdivision of Lot #11.

Attached you will find the originally approved layout of the development as well as the proposed site layout of what is currently being planned in regard to Lot #11.

We would like to request consideration of the proposed plan as stated above and ask that you notify us at your earliest convenience so that we may proceed with the project.

If you have any questions, or need any additional information, feel free to contact me at this office.

Sincerely,
HOBBS, UPCHURCH & ASSOCIATES, P.A.



Jarrod E. Hilliard, E.I.



PLANNING DEPARTMENT

180 SW Broad Street
Southern Pines, NC 28387

Phone: (910) 692-4003
Fax: (910) 692-9495

June 18, 2007

Mr. Jarred Hilliard, E.I.
Hobbs, Upchurch and Associates, P.A.
PO Box 1737
Southern Pines, NC 28388

RE: Southern Pines Corporate Park

Dear Jarred,

On June 12, 2007, the Southern Pines Town Council approved the minor modification creating lots 11 and 11 B for the above referenced project.

If you should have any questions, please advise.

Sincerely,

Bart S. Nuckols, Planning Director
Town of Southern Pines

Cc: File



Hobbs, Upchurch & Associates, P.A.

Consulting Engineers

300 S.W. Broad Street • Post Office Box 1737 • Southern Pines, NC 28388

June 25, 2007

Mr. Bart Nuckols, Director
Town of Southern Pines
Department of Planning and Inspections
180 SW Broad Street
Southern Pines, NC 28387

Re: Southern Pines Corporate Park

Dear Mr. Nuckols:

In regard to the above referenced project, we would like address the issue of previously planned development of this site. RAB investments would like to request additional subdivision of the development in order to produce a 3.17 acre lot for an interested buyer. This 3.17 acre area is part of the total acreage of the property, however, it was not incorporated as a lot in the Southern Pines Corporate Park.

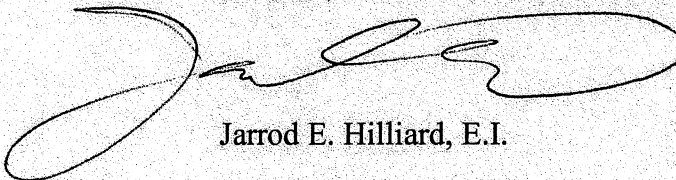
We wish to request a minor modification to the development based upon the attached proposed subdivision of the 3.17 acre lot.

Attached you will find the originally approved layout of the development, including recent approval of Lot #11 subdivision, as well as the proposed site layout of what is currently being planned in regard to the above referenced lot.

We would like to request consideration of the proposed plan as stated above and ask that you notify us at your earliest convenience so that we may proceed with the project.

If you have any questions, or need any additional information, feel free to contact me at this office.

Sincerely,
HOBBS, UPCHURCH & ASSOCIATES, P.A.



Jarrod E. Hilliard, E.I.

Agenda Item

To: Reagan Parsons, Town Manager
From: Bart S. Nuckols, Planning Director
Subject: Southern Pines Corporate Part – Minor Modification
Date: July 10, 2007

Attached is a request for a minor modification to the above subject request. The request is to create a 3.17 acre lot. See attached plans showing existing lot conditions and proposed lot creation.



PLANNING DEPARTMENT

180 SW Broad Street
Southern Pines, NC 28387

Phone: (910) 692-4003
Fax: (910) 692-9495

July 12, 2007

Mr. Jarrod E. Hilliard, C.I.
Hobbs, Upchurch Land Associates, P.A.
PO Box 1737
Southern Pines, NC 28388

RE: 3.17 acre lot expansion to Southern Pines Corporate Park

Dear Jarrod:

On July 10, 2007, the Southern Pines Town Council approved the minor modification for the above reference project.

If you should have any questions, please advise.

Sincerely,

Bart S. Nuckols, Planning Director
Town of Southern Pines

BSN:nhs



Hobbs, Upchurch & Associates, P.A.

Consulting Engineers

300 S.W. Broad Street • Post Office Box 1737 • Southern Pines, NC 28388

July 19, 2007

Mr. Bart Nuckols, Director
Town of Southern Pines
Department of Planning and Inspections
180 SW Broad Street
Southern Pines, NC 28387

Re: Southern Pines Corporate Park

Dear Mr. Nuckols:

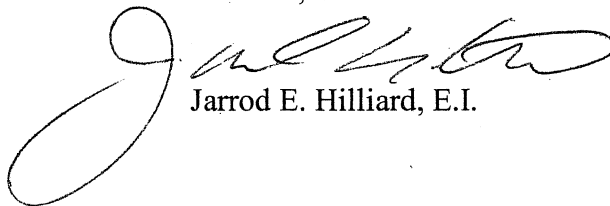
In regard to the above referenced project, we would like address the issue of previously planned development of this site. As stated in our letter dated June 25, 2007, RAB Investments requested additional subdivision of the development in order to produce a 3.17 acre lot for an interested buyer. This 3.17 acre area was approved by the Town per letter from your office dated July 12, 2007.

This letter is to clarify the open space proposed for the development and to depict the portion of the open space that is included in this 3.17 acre property. Previous drawing for the Southern Pines Corporate Park noted the correct acreage for the total open space for the park which included the wetlands area on the 3.17 acre proposed lot, however, the wetlands area on this lot was not shaded to reflect the portion of this lot which is considered open space for the park.

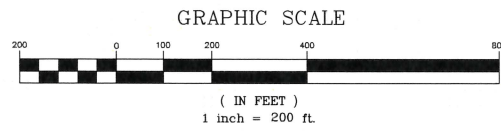
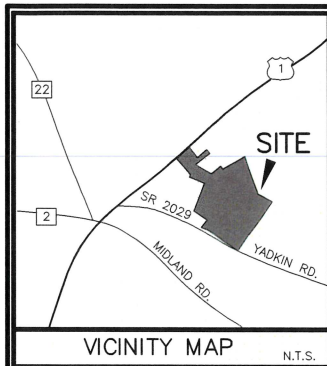
Attached you will find the originally approved layout of the development, including recent approval of Lot #11 subdivision, as well as a revised drawing which depicts the open space on the 3.17 acre lot for clarity.

If you have any questions, or need any additional information, feel free to contact me at this office.

Sincerely,
HOBBS, UPCHURCH & ASSOCIATES, P.A.



Jarrod E. Hilliard, E.I.



RAB INVESTMENTS, OWNER
 P.O. BOX 385
 SOUTHERN PINES, NC 28388
 910-944-0441
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PROPERTY INFORMATION
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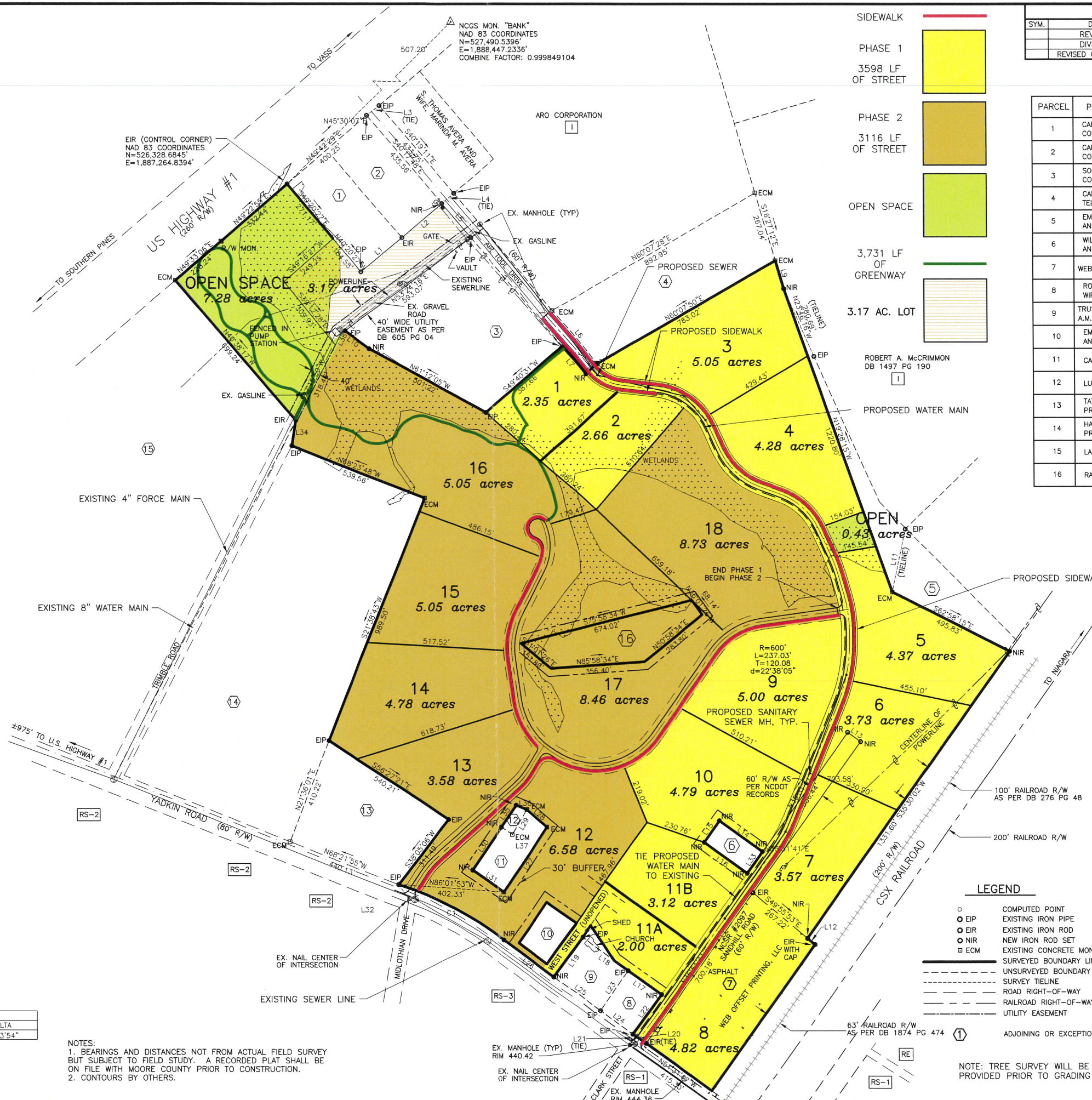
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 2. CONTOURS BY OTHERS.



SIDWALK

PHASE 1
 3598 LF OF STREET

PHASE 2
 3116 LF OF STREET

OPEN SPACE
 3,731 LF OF GREENWAY
 3.17 AC. LOT

REVISIONS			
SYM.	DESCRIPTION	DATE	BY
	REVISED TRAILS	9/11/06	FMH
	DIVIDED LOT # 11	5/10/07	FMH
	REVISED OPEN SPACE HATCH	07/12/07	JH

PARCEL	PROPERTY OWNER	USE
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8	ROBERT WALDEN, JR. & WIFE, RUTH HILL WALDEN	[1]
9	TRUSTEES, JORDAN CHAPEL A.M.E. ZION CHURCH	[1]
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13	TATE RENTAL PROPERTIES, LLC	[1]
14	HAMILTON BEACH/PROCTOR-SILEX, INC.	[1]
15	LADY BUILDERS, LLC	[1]
16	RANDY BROWER	[1]

LEGEND

- COMPUTED POINT
- EIP EXISTING IRON PIPE
- EIR EXISTING IRON ROD
- NIR NEW IRON ROD SET
- ECM EXISTING CONCRETE MONUMENT
- SURVEYED BOUNDARY LINE
- - - UNSURVEYED BOUNDARY LINE
- - - SURVEY TIE LINE
- - - ROAD RIGHT-OF-WAY
- - - RAILROAD RIGHT-OF-WAY
- - - UTILITY EASEMENT
- ① ADJOINING OR EXCEPTION PARCEL NUMBER

NOTE: TREE SURVEY WILL BE PROVIDED PRIOR TO GRADING PERMIT.

Hobbs, Upchurch & Associates, P.A.
 Consulting Engineers, Surveyors & Land Planners
 Southern Pines, North Carolina 28387
 300 S.W. Broad Street, Southern Pines, North Carolina 28387
 Phone: (910) 692-5616 - Fax: (910) 692-7542

SOUTHERN PINES CORPORATE PARK
 SOUTHERN PINES, NORTH CAROLINA

DATE: AUGUST 2006
 DESIGNED: JH
 DRAWN: WW
 CHECKED: JH
 SCALE: NOTED
 SHEET NO. **C-2**
 OF 3
 Page 75 of 110

Town of Southern Pines Rezoning Petition

Case: Z- _____
Date: _____

To the Planning Board and Town Council of Southern Pines, North Carolina:

I, the undersigned, do hereby make a petition to change the zoning map of the Town of Southern Pines as herein requested:

1. The property is located on the North side of Yadkin Road (St., Ave., Dr., Ct.) between May Street (St., Ave., Dr., Ct.) and US 1 (St., Ave., Dr., Ct.). The address is Airtool Drive and is identified as PIN Number 858200844750 and LRK 00039569. It has a frontage of _____ feet and an average depth of _____ feet containing _____ acres.

2. It is desired and requested that the foregoing property be rezoned from I District to PD District for the following purpose: Industrial and business park

3. A metes and bounds description must be attached to this application.

4. List all individuals, firms or corporations owning property within 200 feet of the rezoning petition and within 200 feet of all other property contiguously owned by the property owner/petitioner or all pieces of land that were part of the property requesting rezoning or at least the ten (10) closest properties prior to the requested rezoning, and the property across the street from the property sought to be rezoned. It is required to furnish PIN and LRK numbers for each property, owner's name and address.

I certify that all information furnished in this petition is accurate to the best of my knowledge.

Petitioner's Name (Please Print or Type) Chris Jordan

Petitioner's Signature 

Mailing Address 312 Fields Drive
Aberdeen, NC 28315

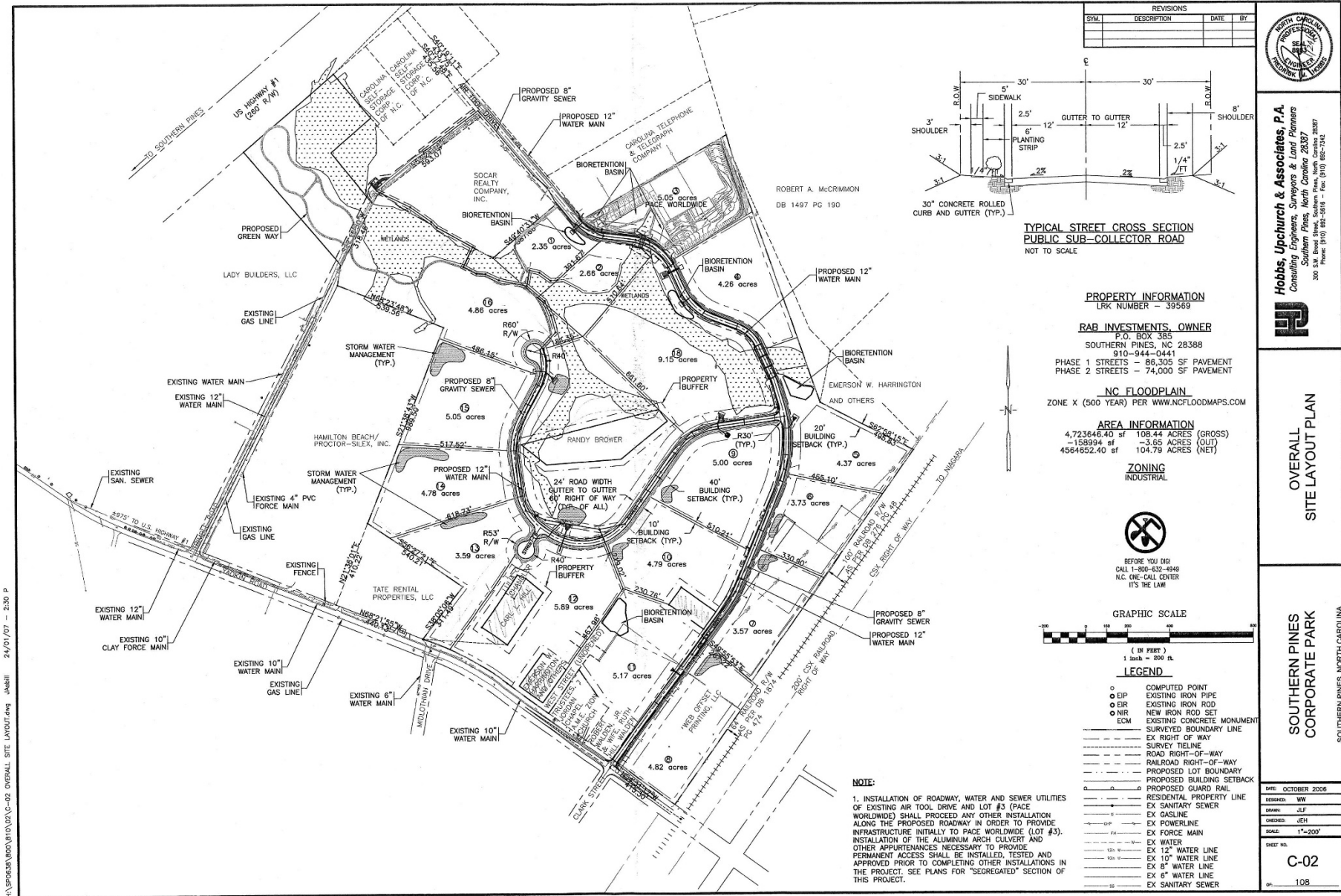
Phone Number () 910-315-7052 Email cj@oconnorconc.com

Property Owner (Please Print or Type) RAB Investments LLC

Mailing Address 112 N. Poplar Street
Aberdeen, NC 28315

Phone Number () 910-315-7052 Email cj@oconnorconc.com

Dated October 8, 2013



Hobbs, Upchurch & Associates, P.A.
Consulting Engineers, Surveyors & Land Planners
Southern Pines, North Carolina 28387
300 S.W. Broad Street, Southern Pines, North Carolina 28387
Phone: (910) 692-5818 - Fax: (910) 692-2342

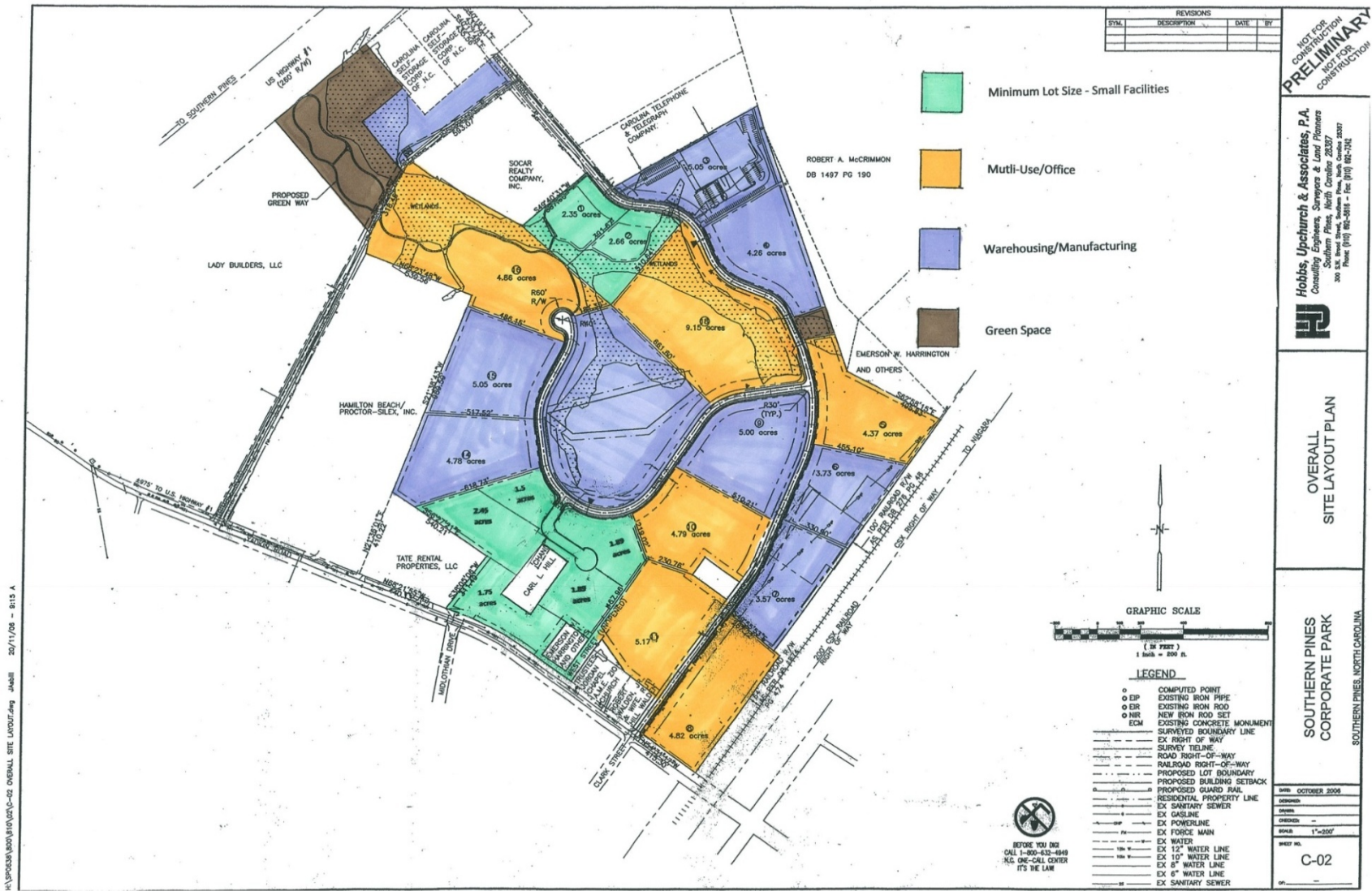


OVERALL SITE LAYOUT PLAN

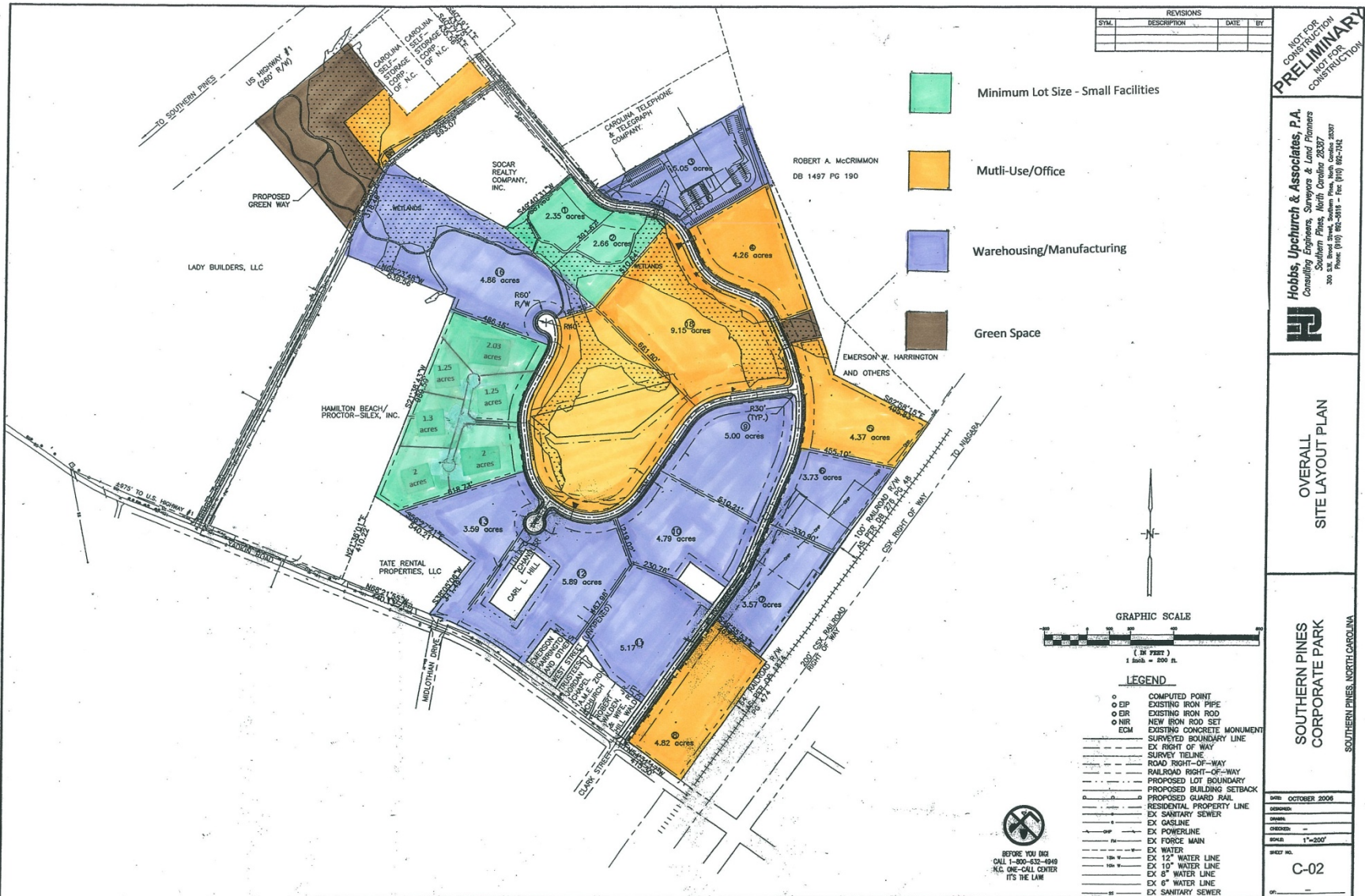
SOUTHERN PINES CORPORATE PARK

DATE: OCTOBER 2006
DESIGNED BY: JLT
CHECKED BY: JEH
SCALE: 1"=200'
SHEET NO.: C-02
OF: 108

Conceptual Plan- Option: 1

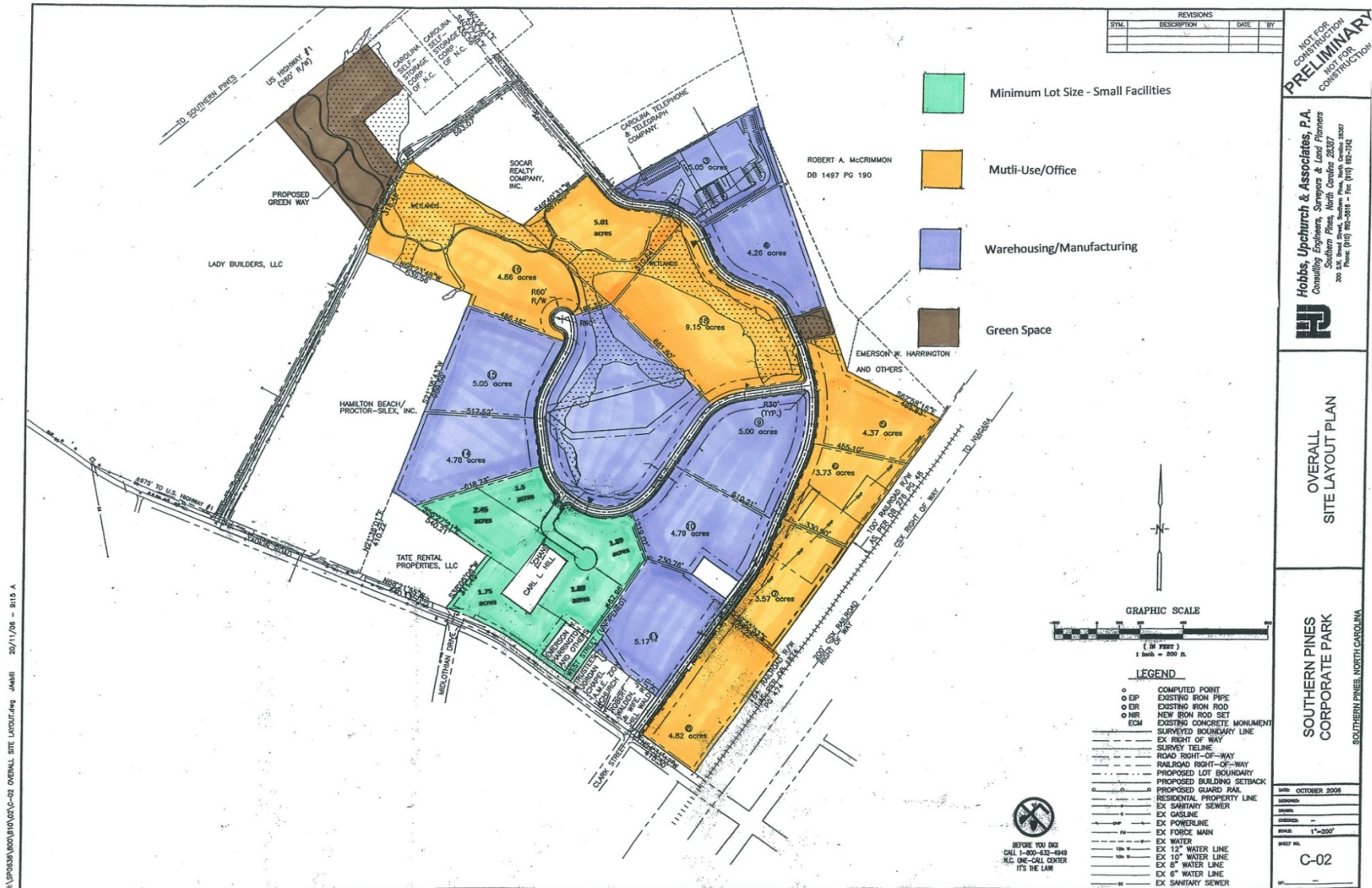


Conceptual Plan- Option: 3

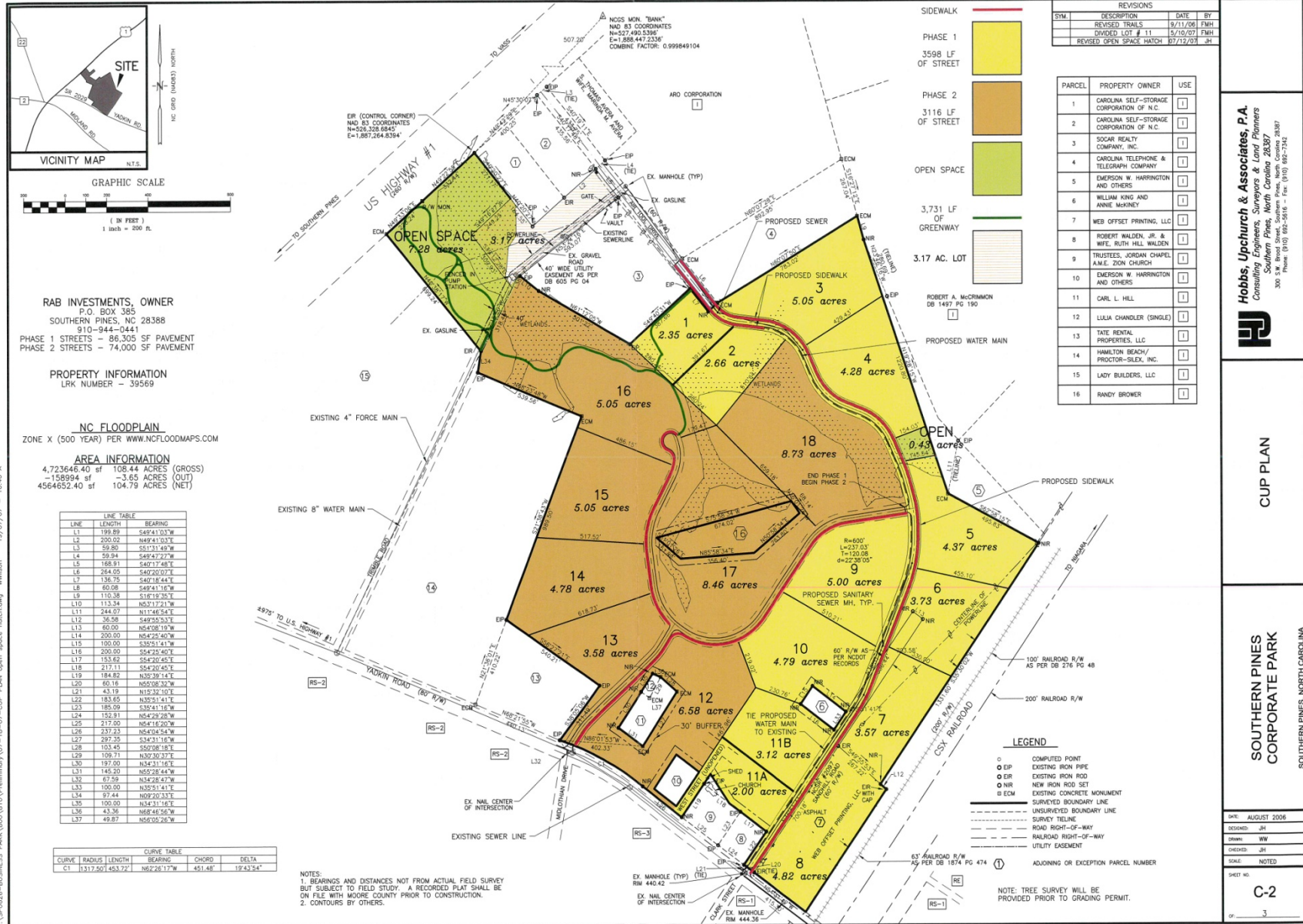


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Conceptual Plan- Option: 4



Phasing Plan



Hobbs Upchurch & Associates, P.A.
Consulting Engineers, Surveyors & Land Planners
Southern Pines, North Carolina 28387
300 S.W. Road Street, Southern Pines, North Carolina 28387
Phone: (910) 692-5616 - Fax: (910) 692-7242

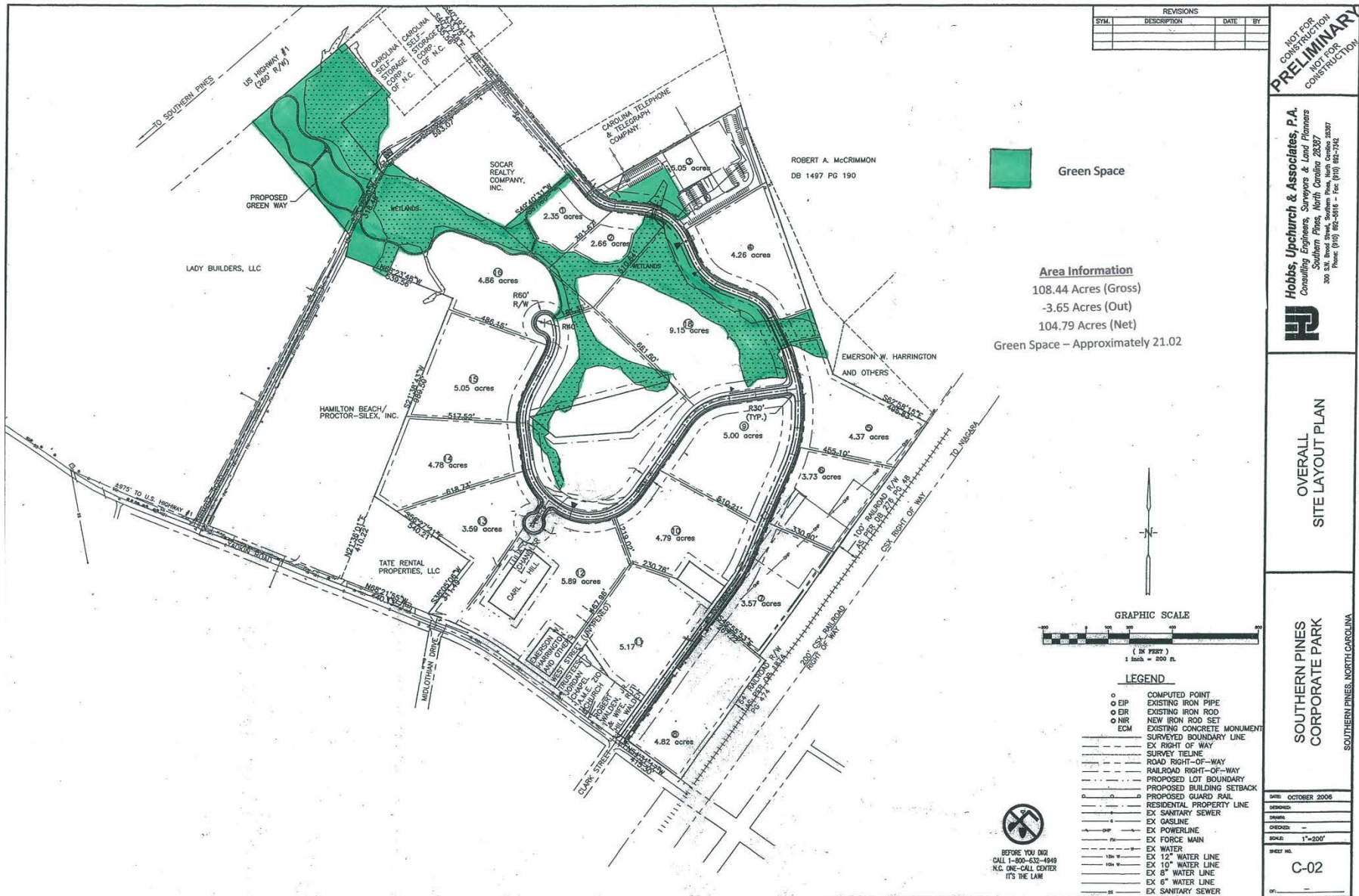
CUP PLAN

SOUTHERN PINES CORPORATE PARK

DATE: AUGUST 2006
DESIGNED: JH
CHECKED: WW
DRAWN: JH
TITLE: NOTED
SHEET NO. C-2
OF 3

H:\S\PROJECTS-BUSINESS PARKS\BDO\Planmats\07-18-07-CUP PLAN open space hatch.dwg Wilson 19/07/07 - 10:40 A

Open Space Plan



Southern Pines Corporate Park

Category	Amount of Land in Acres
Gross Acreage	104.79
Required Open Space*	20.958
Required Usable Open Space*	10.479
Amount of Land able to be Developed**	83.832
<p>*Per Section 3.5.14 (G) developments in the PD zoning classification must dedicate at least 20% of gross land area to open space. Furthermore, 50% of that 20% of gross land area must be usable open space as defined in Section 4.9.1.</p>	
<p>**This acreage is subject to the 5/70 exemption for areas within the watershed. This acreage shall have a maximum impervious surface calculation of 70%.</p>	
Industrial Land Uses (minimum)***	62.874
Supportive Land Uses (maximum)***	20.958
<p>***This acreage is determined by the standard that industrial uses shall occupy at least 75% of the gross land able to be developed. Supportive uses shall occupy no more than 25% of the gross land able to be developed. These calculations are determined using the amount of land able to be developed (83.832 acres).</p>	

The petitioner has requested the following:

(Please refer to the Table of Permissible Uses in the Unified Development Ordinance for the corresponding land uses associated with the following LBCS Codes)

Only those land uses listed below shall be permitted in the Southern Pines Corporate Park Planned Development District. Each land use is more fully described in the Town of Southern Pines Unified Development Ordinance (hereinafter “UDO”) in Chapter 3: Section 3.7 Use Matrix and Interpretation. Development standards for the Southern Pines Corporate Park Planned Development District shall follow the Industrial Zoning Classification design guidelines unless otherwise specified. The development standards and land uses are also subject to the Private Covenants and Restrictions maintained by the Southern Pines Corporate Park. The Private Covenants and Restrictions are intended to supersede the standards set forth by the Town of Southern Pines, thus the Private Covenants and Restrictions shall be more stringent than the standards set forth by the Town unless explicitly stated in this approval. In the event of a conflict between the standards set forth by the Town of Southern Pines and the Private Covenants and Restrictions of the Southern Pines Corporate Park the stricter standard shall apply.

Property development standards.

- (1) Minimum Lot Size. The minimum lot size shall be 50,000 sf.
- (2) Open Space. The development shall maintain at least twenty percent (20%) of the gross property acreage as open. Fifty percent (50%) of which shall be maintained as usable open space as per the requirements in the UDO.
- (3) Maximum Height. The maximum height of buildings and structures shall be as set at fifty feet (50’).
- (4) Minimum Setbacks. All structures, parking areas, and loading areas shall maintain minimum setbacks from property lines as set forth below in the Industrial Zoning Classification.
- (5) Maximum Site Coverage. Buildings, parking areas, and other paved or graveled surfaces, exclusive of public rights-of-way and recreation areas developed and accessible to the public, shall cover no more than 70 percent of the building site.
- (6) All other applicable development standards for the Industrial zoning classification.

Subject to restrictions set forth in this section, each site in the Southern Pines Corporate Park shall be used for the primary land uses specified in the Table 1a and Table 1b below. Certain uses are permitted only if restrictions described in Table 2 are met. Non-permitted uses are listed in Table 3. Conditional Uses are listed in Table 4. Uses incidental to the primary use are considered accessory uses, as described in Table 5.

Table 1: Permitted Uses

The Town of Southern Pines Corporate Park in the Planned Development District is permitted to develop up to 25% of the land area into non-industrial uses. Industrial uses may develop at greater than 75% of the total gross land area but shall not comprise less than 75% of the build-out. Only the land uses explicitly listed in this document and applicable accessory uses may be permitted in the Southern Pines Corporate Park.

Table 1a. Non-Industrial Uses:

The following land uses shall not comprise more than 25% of the total gross land area within the Southern Pines Corporate Park at the full build-out of the development.

- **2000 General Sales or Services**
- 2310 Real Estate Services
- 2320 Property Management Services
- 2332 Leasing Trucks, Trailers, RVs, Buses, Aircraft, Tugboats, etc.
- 2335 Consumer Good Rental
- 2336 Intellectual Property Rental
- 2411 Legal Services
- 2412 Accounting, Tax, Bookkeeping, Payroll Services
- 2413 Architectural, Engineering, Surveying, and Related Services
- 2414 Graphic, Industrial, Interior Design Services
- 2415 Consulting Services (Management, Environmental, Technical)
- 2417 Advertising, Media, and Photography Services
- 2421 Office Administrative Services
- 2422 Facilities Support Services
- 2423 Employment Agency
- 2424 Copy Center, Private Mail Center, other Business Support Services
- 2425 Collection Agency
- 2430 Travel Arrangement and Reservation Services
- 2440 Investigation and Security Services
- 2455 Packing, Crafting, and Convention and Trade Show
- 2520 Cafeteria or Limited Service Restaurant
- 2622 Dry Cleaning and Laundry
- **4000 Transportation, Communication, Information, and Utilities**
- 4136 Sightseeing
- 4212 Software Publisher
- 4233b Towers and Antennas Taller than 50'
- **6000 Education, Public Administration, Health Care, and Other Institutions**
- 6511 Clinic
- 6562 Child Daycare
- 6563 Community Food Services
- 6564 Emergency and Relief Services
- 6565 Other Family Services
- 6566 Services for Elderly and Disabled
- 6567 Veteran Affairs
- 6568 Vocational Rehabilitation
- 6810 Labor or Political Organization
- 6820 Business Association or Professional Membership
- 6830 Civic, Social, or Fraternal Organization
- **9000 Agriculture, Forestry, Fishing, and Hunting**
- 9360 Fish
- **9900 Unclassifiable or No Function**
- 9912 Other (special events)

Table 1b. Industrial Uses:

The following land uses shall not comprise less than 75% of the total gross land area within the Southern Pines Corporate Park at the full build-out of the development.

2140 Consumer Goods, Other

2144 Mail Order or Direct Selling Establishment

2300 Real Estate, Rental and Leasing

2321 Commercial Property Related, Mini- or Self-Storage

2330 Rental and Leasing

2334 Leasing Commercial, Industrial Machinery and Equipment

2400 Business, Professional, Scientific, and Technical

2416 Scientific Research and Development Services

2418 Veterinary Services

2450 Services to Buildings and Dwellings

2451 Extermination and Pest Control

2452 Janitorial

2453 Landscaping

2454 Carpet and Upholstery Cleaning

2500 Food Services

2550 Mobile Food Services

2560 Caterer

2570 Food Service Contractor

2580 Vending Machine Operator

2600 Personal Services

2623 Linen and Uniform Supply

2630 Photofinishing

2700 Pet and Animal Sales or Service (except Veterinary)

2720 Animal and Pet Services and Kennels (Animal Boarding)

3000 Manufacturing and Wholesale Trade

3100 Food, Textiles, and Related Products

3110 Food and Beverages

3120 Tobacco Manufacturing

3130 Textiles

3140 **Leather and leather substitute products**

3200 Wood, Paper, and Printing Products

3210 **Wood products**

3220 **Paper and printing materials**

3221 Printing and related support activities

3230 Furniture and related products

3300 Chemicals, and Metals, Machinery, and Electronics Manufacturing

3350 Machinery manufacturing

3370 Transportation equipment

3400 Miscellaneous Manufacturing

3420 Dolls, toys, games, and musical instruments

3430 Office Supplies, Inks, Etc. (except paper)

3440 Signs

3500 Wholesale Trade Establishment

- 3600 Warehousing and Storage Services**
- 3610 Office and Warehousing
- 3620 Warehousing
- 4000 Transportation, Communication, Information, and Utilities**
- 4134 Non-local and charter bus
- 4135 School and employee bus transportation
- 4137 Taxi and limousine service
- 4138 Towing and other road and ground services
- 4140 Truck and Freight Transportation Services**
- 4141 General Freight Trucking, local
- 4142 General Freight Trucking, long distance
- 4160 Courier and messenger services
- 4170 Postal Services
- 4171 National Post Office
- 4200 Communication and Information**
- 4211 Newspapers, books, periodicals, etc.
- 4220 Motion Pictures and Sound Recording
- 4221 Motion picture and video production, publishing, and distribution
- 4223 Sound recording, production, publishing, and
- 4231 Radio and television broadcasting
- 4232 Cable networks and distribution
- 4233 Wireless telecommunications
- 4233a Towers and antennas 50ft tall or less
- 4234 Telephone and other wired telecommunications
- 4240 Information services and data processing industries**
- 4241 Online information services
- 4242 Library or archive
- 4243 News syndicate
- 4300 Utilities and Utility Services**
- 4310 Electric power**
- 4315 Service distribution lines
- 4316 Electric substations
- 4320 Natural gas, petroleum, fuels**
- 4329 Natural gas service
- 4330 Water, steam, air conditioning supply**
- 4331 Drinking water
- 4339 Water Service
- 4340 Sewer, solid waste, and related services**
- 4349 Wastewater service
- 5150 Agent for management services
- 5160 Independent artist, writer, or performer
- 5370 Fitness, recreational sports, gym, athletic club, multi-purpose facility**
- 5372 Private facilities
- 5500 Natural and other Recreational Parks
- 6200 Public Administration**
- 6300 Other Government Functions
- 6400 Public Safety**
- 6410 Fire and Rescue

- 6420 Police
- 6430 Emergency Response
- 6700 Death Care Services
- 6720 Crematorium
- 7000 Construction-Related Businesses**
- 7100 Building, Developing, and General Contracting
- 7200 Machinery Related
- 7300 Special Trade Contractor**
- 7310 Carpentry, floor, and tile contractor
- 7320 Concrete contractor
- 7330 Electrical contractor
- 7340 Glass and glazing contractor
- 7350 Masonry and drywall contractor
- 7360 Painting and wall covering
- 7370 Plumbing, heating, and air conditioning
- 7380 Roofing, siding, or sheet metal contractor
- 7400 Heavy Construction
- 9100 Crop Production**
- 9110 Outdoor Production
- 9200 Support Functions for Agriculture
- 9900 Unclassifiable or No Function**
- 9930 Subdivisions**
- 9932 Minor
- 9940 Combination Uses (ZC)
- 9967 Employment Centers (ZS)

Table 2: Uses with Supplemental Restrictions

The following land uses are considered general or retail sales however may be permitted in the Southern Pines Corporate Park with the following supplementary restrictions. The land uses below may be permitted in the Southern Pines Corporate Park if the volume of on-site sales is less than 25% of total company sales, or less than 50% of the gross floor area is devoted to on-site retail sales.

- 2115 Parts, Accessories, or Tires
- 2117 Automotive Repair and Maintenance
- 2122 Hardware, Home Center
- 2123 Lawn and Garden Supplies
- 2126 Lumber Yard and Building Materials
- 2127 Heating and Plumbing Equipment

Table 3: Non-Permitted Uses

Residential land uses (including live/work space), land uses not explicitly listed in this document, and industrial land uses as specified below in Table 3 are not permitted in the Southern Pines Corporate Park.

- 3630 Tank Farm
- 4341 Hazardous waste collection
- 4342 Hazardous waste treatment and disposal
- 4344 Solid waste combustor or incinerator
- 4345 Solid waste landfill

- 4347 Septic tank and related services
- 4348 Wastewater treatment plants
- 5230 Zoos, Botanical Gardens
- 6222 Correctional Institution or Jail

Table 4: Conditional Uses

The following land uses are permitted but require a Conditional Use Permit approval from the Town of Southern Pines Town Council.

- **3300 Chemicals, and Metals, Machinery, and Electronics Manufacturing**
- 3310 Petroleum products*
- 3320 Chemicals, plastics, and rubber products*
- 3330 Nonmetallic mineral products*
- 3340 Primary metal manufacturing*
- 3360 Electrical equipment, appliance, and components manufacturing*
- **3400 Miscellaneous Manufacturing**
- 3410 Jewelry and silverware*
- **4340 Sewer, solid waste, and related services**
- 4343 Solid waste collection*
- 4346 Waste treatment and disposal*
- **9930 Subdivisions**
- 9931 Major*

Table 5: Accessory Uses

Accessory uses are subordinate or incidental to the primary permitted use. They support the primary function, but might not be allowed as a primary use. The following accessory uses shall only be permitted in conjunction with primary permitted uses.

- a. Off-street parking and loading facilities serving a primary use;
- b. Open areas devoted to private permanent recreational facilities located on the same lot as a principal facility;
- c. Storage and service areas and accessory buildings, if serving a principal facility on the same lot; provided that such facilities are enclosed.
- d. Temporary construction yards and similar facilities which are necessary and incidental to development of facilities on the same lot, or on another of several lots being developed at the same time;
- e. Temporary real estate sales office which is necessary and incidental to, and located on the site of, a commercial subdivision being developed.
- f. On-site retail sales are permitted for any establishment within the Southern Pines Corporate Park if the volume of on-site sales is less than 10% of total company sales, or less than 25% of the gross floor area is devoted to on-site retail sales.

Multi-Use Facilities Example Buildings



Multi-Use Facilities Example Buildings



Multi-Use Facilities Example Buildings



Multi-Use Facilities Example Buildings



Manufacturing/Warehouse Example Buildings



Manufacturing/Warehouse Example Buildings



Manufacturing/Warehouse Example Buildings



Minimum Lot Size Example Buildings



Agenda Item

To: Reagan Parsons, Town Manager

Via: Bart Nuckols, Planning Director

From: Chris Kennedy, Planner

Subject: Z-01-14, Request to Rezone the Southern Pines Corporate Park from Industrial (I) to Planned Development (PD), Petitioner, Chris Jordan

Date: May 13, 2014

Z-01-14, Request to Rezone the Southern Pines Corporate Park from Industrial (I) to Planned Development (PD), Petitioner, Chris Jordan

Mr. Chris Jordan has submitted a request to rezone the Southern Pines Corporate Park from Industrial (I) to Planned Development (PD) to allow for an additional list of permitted to be added to the Conditional Use Permit for the property. The Southern Pines Corporate Park is zoned Industrial (I) and was approved under the Conditional Use Permit (CU-03-06). The Southern Pines Corporate Park is comprised of 103.32 acres located at 115 Yadkin Road with the PIN: 858200844750 (Parcel ID 00039569); PIN: 858216941750 (Parcel ID: 00031777); PIN: 858216839247 (Parcel ID: 00039763); PIN: 8582008597112 (Parcel ID: 20071012). The Future Land Use Map designates the subject properties as Industrial. The permitted uses within the Corporate Park include primarily manufacturing, distribution, storage oriented, and large facility uses. The petitioner submits this request to expand the permitted uses to include more supportive-type uses in addition to the currently permitted uses. The requirements for the Planned Development process are attached below. The Planned Development (PD) zoning classification allows any use in the Table of Permissible Uses upon Town Council approval.

Planning Board Recommendation:

At the February 20, 2014 meeting of the Planning Board, the Board opened a public hearing to discuss the proposed amendment. The Planning Board decided to continue the public hearing until their March 20, 2014 meeting. At the March 20, 2014 meeting of the Planning Board the board did not have a quorum so the public hearing was continued until the April 17, 2014 meeting of the Planning Board. At the April 17, 2014 meeting of the Planning Board, the public hearing was continued and then properly closed. The Planning Board unanimously voted to recommend approval of Z-01-14 as presented with the inclusion of the following conditions:

1. The Southern Pines Corporate Park development will provide a buffer from any residential use, regardless of zoning classification that matches the current buffering standards in the Town of Southern Pines Unified Development Ordinance between Industrial and Residential uses. Buffer requirements shall not apply when a public street or railroad right-of-way separates applicable zoning districts or uses. At which time the residential uses currently zoned Industrial cease to continue their residential use, this condition shall then not be required.
2. The proposed zoning map amendment shall not be approved until Section 3.5.14 PD- Planned Development District subsection (A)(1) is amended to strike the word limited in the following standard, “(1) Encourage planned, large-tract development, including service, office, commercial,

residential, public or private recreational development, and **limited** light industrial uses;”. This text amendment is to resolve capability issues with the rest of the PD standards with particular respect to Section 3.5.14(D).

The Planning Board is a recommending body to the Town Council. The Town Council may wish to accept the recommendation of the Planning Board or make their own recommendation.

Staff Comments:

The Corporate Park was established and intended to accommodate large-scale campus type development containing uses that include light industrial, manufacturing, distribution, storage oriented, and large facility uses. The purpose of this request is to maintain the aforementioned land uses but to also include land uses that are considered supportive to the core land uses including: research and development, corporate headquarters, general office, business incubation, vocational and training school uses, limited (if any) visitor accommodation, limited (if any) restaurant, and ancillary retail uses. This rezoning from Industrial (I) to Planned Development (PD) should be intended to allow supportive land uses the ability to locate proximal to the light industrial and manufacturing businesses that are currently permitted in the Southern Pines Corporate Park. The proposed rezoning with the inclusion of more land uses should be set up within a framework that minimizes overdevelopment of supportive uses relative to core uses, as well as to minimize adverse impacts on surrounding uses.

Staff recommends that the Planning Board review the submitted uses requested by the petitioner to be added to the PD zoning classification and make a recommendation that the petitioner select only the uses necessary to the mission of and those that are considered supportive to the core uses of the Southern Pines Corporate Park.

Staff also suggests that the petitioner recommend a standard that dictates the maximum levels of supportive uses within the corporate park. The core uses currently permitted in the Corporate Park are industrial and manufacturing; staff recommends that these uses continue to comprise at least 75 % of the total use mix. This percentage could be calculated in terms of land area, building square footage, or any other formula as the board sees fit. This use mix standard, if adopted, should also include a requirement that the agreed upon percentage should be the standard at the completion of the final development phase of the Southern Pines Corporate Park. During the phasing of the park the supportive uses may comprise more than the agreed upon percentage threshold of build-out as long as the final build-out meets the agreed upon standard.

The petitioner has submitted a phasing plan from the previous CUP approval to display the continued phasing of the Southern Pines Corporate Park. The petitioner has also provided four (4) conceptual plans of potential build-out scenarios along with a number of character images to show the building types to be constructed within the corporate park.

Per Section 3.5.14(G) the development at least 20% of the gross land area must be dedicated to open space. Additionally, at least 50% of the 20% open space (10% of the gross land area) must be usable open space as defined in Section 4.9.1(B) of the UDO. The petitioner has submitted a map displaying the open space for the corporate park. The petitioner has yet to submit a calculation for usable open space.

3.5.12 I – Industrial

(A) Purpose

The I district is established to allow primarily light manufacturing, assembly, research and intensive commercial uses. The regulations of this district are intended to:

- (1) Encourage light manufacturing and intensive commercial uses that are compatible with the tourist/resort character of the community, as well as accessory land uses incidental to and in support of authorized manufacturing uses;
- (2) Exclude heavy industry, major retail and residential land uses; and
- (3) Preserve locations that are best suited for industrial Development.

(B) Authorized Uses

The uses authorized by Section **Error! Reference source not found.** of this UDO may be established in accordance with the provisions of this UDO, including, but not limited to the procedures established in Chapter 2, the zoning district standards of this Chapter, and the design standards of Chapter 4.

(C) District Use Standards

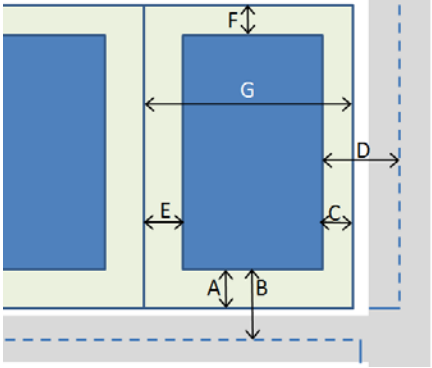
Standards for specific uses and Development Patterns authorized in this district are established in Chapters 5 and 6. In addition, the following standards shall apply:

- (1) Outdoor operations, other than moving, storing and displaying goods shall be prohibited.
- (2) Outdoor storage and display shall be screened in compliance with Sections **Error! Reference source not found.** and **Error! Reference source not found.**

(D) District Development Standards

Dimensional and density standards are summarized in **Error! Reference source not found.** Section cross-references identify the location of additional dimensional standards. Additional district Development standards are established in Chapter 4 of this UDO. Exhibit **Error! No text of specified style in document.**-3

Exhibit Error! No text of specified style in document.-3: Summary of I Development Standards

Design Element	Principal Structure Standards	Section Cross-Reference	Setback Illustration
Maximum Height	50'	Error! Reference source not found.	 <p data-bbox="1310 1162 1919 1190">Letters match dimension in design element column</p>
Minimum front setback from right-of-way (dimension A)	40'	Error! Reference source not found.	
Minimum front setback from centerline (dimension B)	70'	Error! Reference source not found.	
Minimum side setback, exterior from right-of-way (dimension C)	15'	Error! Reference source not found.	
Minimum side setback, exterior from centerline (dimension D)	45'	Error! Reference source not found.	
Minimum Side Setback, Interior (dimension E)	10'	Error! Reference	

		source not found.	
Minimum Rear Setback (dimension F)	20'	Error! Reference source not found.	
Minimum Lot Width (dimension G)	No minimum	Error! Reference source not found.	
Minimum Lot Size	No minimum	Error! Reference source not found.	

3.5.13 PD - Planned Development District

A. Purpose

The **PD** district is designed to accommodate mixed land uses, such as office, residential, service, commercial, public or private recreational Development, and under limited circumstances, light manufacturing and assembly uses. This district is intended to allow mixed-use Developments in areas where sufficient public water and sewer service is available (or can be readily extended) and where the street system is adequate (or can be readily improved) to handle the projected traffic volumes generated by the Development. The regulations of this district are intended to:

1. Encourage planned, large-tract Development, including service, office, commercial, residential, public or private recreational Development, and limited light industrial uses;
2. Exclude heavy commercial and industrial land uses;
3. Encourage Development in areas located on major thoroughfares and collector streets;
4. Encourage vehicular access from service drive and other local streets;
5. Provide performance standards to help ensure compatible land uses;
6. Encourage common or shared parking;
7. Promote creativity and innovation in the design that leads to more appropriate relationships between land uses and features;
8. Facilitate clustering of Development thereby increasing the amount of saved land;
9. Foster Development of a network of open space to serve a variety of recreational and environmental purposes designed and located with respect to existing unique natural features and environmentally sensitive areas,
10. Improve connectivity within and between Developments to promote mobility and enhance walkability;
11. Integrate public spaces and amenities to promote community gatherings and activities;
12. Establish coordinated land plan and consistent treatment of common design elements;
13. Provide the flexibility to respond to market conditions over longer projected Development periods due to the scale of such Developments; and
14. If residential land uses are proposed, provide a variety of Lot sizes and Dwelling types to expand the spectrum of housing choices for households of various type, size, income and age.

B. Applicability

A **PD** district may be established to accommodate large-scale, master-planned, mixed-use Developments that cannot be accomplished through conventional zoning districts. Development within a PD district shall occur in accordance with unique conditions and standards established during the rezoning process that may vary from those contained within other Sections of the UDO. Such conditions and standards shall be applicable only to the specific Parcel(s) of land that comprises that PD District, and shall run with the land regardless of ownership. The PD District is not intended for use with subdivisions or Developments that accommodate a single land use for which other zoning districts are intended.

C. Procedures

PD districts shall be established and developed in accordance with the procedures established in Chapter 2 of this UDO.

D. Land Use Mix

Each PD district approval shall identify the authorized land uses, which may include a mix of residential, retail, office, recreational or light industrial uses. The type and location of any and all uses within the PD District must be demonstrated to be appropriate for the project area and

surrounding area. All land uses listed in the approved zoning application are permitted subject to the conditions established through the rezoning process.

E. Development Patterns

The PD district approval may establish any of the Development Patterns described in Chapter 6 or accommodate alternative Development Patterns that comply with PD district standards.

F. General Provisions

1. Minimum Size and Contiguity

The area of a PD district shall encompass a sufficient area to accommodate the proposed mix of Uses and ensure compatibility between both internal and external land uses.

2. Ownership and Division of Land

No Tract of land may be considered for a PD District unless such Tract is under single or unified ownership or control. If listed in several ownerships, the application for zoning shall be accompanied by each landowner's written consent. The holder of a written option to purchase or a developer under contract shall be considered an owner for purposes of this Section provided the landowner's (or landowners') written consent is included with the application.

3. Relationship to the UDO

Each proposal for Development under the PD district is anticipated to be unique. Except as provided by this Section and the PD approval, PD district Development shall be subject to all of the applicable standards, procedures, and regulations in other Sections of this UDO. Development Conditions approved as part of the PD District zoning application shall supersede conflicting UDO regulations, unless otherwise prohibited by law. Alternative standards may be approved for Development within the PD district if they:

- a) Meet or exceed the general intent of the UDO standards for base zoning districts;
- b) Are appropriate given the specific mix of uses and character of the Development; and
- c) Achieve a more efficient, safe or economical land use without detracting from the quality of the Development or detrimentally impacting its surrounding Development or the community as a whole.

4. Relationship to Other Regulations

Unless otherwise specified in the PD approval, all PDs shall be subject to all local, State and Federal regulations..

G. Open Space

Unless otherwise authorized for a specific Development Pattern established in Chapter 4, the following Open Space requirements apply within a PD district:

1. Not less than twenty (20) percent of the gross land area of the PD shall be devoted to Open Space.
2. Not less than fifty (50) percent of the required Open Space (ten (10) percent of gross land area) shall be Usable Open Space as defined in this UDO.
3. The remaining Open Space may be comprised of, but is not limited to, any combination of the following: natural areas, wetlands, trails, boardwalks, parks, ball fields, equestrian fields or tracks, golf courses (not including clubhouse or other vertical structures), buffers (outside of a platted Lot), any water bodies including ponds and lakes, and/or innovative and accessible water quality ponds (that are designed as an amenity).
4. No more than fifty (50) percent of the required Open Space shall consist of ponds, lakes, and/or water quality ponds.

5. The site's natural features and surroundings, unique features of the subject and surrounding property shall be considered by the Town when evaluating the configuration and uses of planned Open Space. Where practical, Open Space shall be configured to provide connectivity with other Open Space, both on- and offsite, and to allow for connectivity to and the extension of the existing Greenway Trail System.
6. Unless dedicated to and accepted by the Town or a similar legal entity, the owner or POA is required to provide for the continuing maintenance of Open Space.

H. Landscaping, Screening, Buffers and Trees

The standards for landscaping, screening, buffers and trees included in Chapter 4 of this UDO shall apply to all Development within the PD District, with the following exceptions:

1. Buffer requirements apply only to the perimeter of the PD unless otherwise specified in the PD District Conditions. The the minimum required buffer for each sub-area shall be based on the most intensive use authorized within the sub-area that is adjacent to the property boundary and shall meet or exceed the standards established in Chapter 4 of this UDO.
2. Land uses internal to the PD shall be buffered in accordance with the provisions of Chapter 4 unless approved as part of the PD Development Conditions.
3. Other deviations from landscaping, buffer, street tree and screening standards of Chapter 4 shall not be allowed unless approved as a PD Development Condition.
4. If landscaping, buffer or other requirements are included in a platted Lot, they shall be protected by the PD's Covenants and Restrictions and shall not count as Open Space.

I. Common Sign Plan

Signs within the Development shall adhere to the standards set forth in Section **Error! Reference source not found.** of this UDO or as part of the zoning application or an amendment thereto. The Applicant may submit a Unified Sign Plan that establishes more specific design standards (size, height, color, materials, illumination) and Sign locations for the project to ensure a coordinated theme across the PD District. Such Unified Sign Plan may be submitted after the approval of the zoning application and may be approved by the Planning Director as an alternate to individual Sign permits. Any Unified Sign Plan that exceeds the size or number of Signs allowed by Section **Error! Reference source not found.** shall require approval by the Planning Board pursuant to Section **Error! Reference source not found.**

J. Landmark Signs

The Town Council may approve the establishment of one or more on-premises Landmark Signs as a condition of Final Development Plan approval within a PD district subject to the requirements of Section 4.12.

K. Storm Water Control

Storm water management shall meet or exceed the State's minimum requirements for storm water management. A common master storm water management plan may be developed for the project as a whole and may employ Best Management Practices. This neither prohibits the Development of the PD district in phases nor the phased implementation of the storm water management system.

L. Street Design

1. Street design shall adhere to the Town's standards as set forth in Chapter 4 of the UDO. The Applicant may submit alternative street design standards that vary in response to proposed function of the street, the anticipated adjacent land uses, character of the neighborhood, the anticipated traffic volume (subject to Town and/or NCDOT approval), the hierarchy within the street network, and the need for traffic calming measures. At a

minimum, turn lanes shall be studied and contemplated in relation to all intersections of Arterial streets within the site and shall be considered for appropriateness as part of the Traffic Impact Analysis (TIA), which must be approved by the Town.

2. Streets within the PD may be private or may be dedicated to the Town of Southern Pines with the Town's consent. Dedicated streets may be maintained by the Town of Southern Pines or NCDOT according to rules of the applicable jurisdiction.

M. Parking and Loading

The standards for parking and loading set forth in Chapter 4 UDO shall apply to all Development within the PD, with the following exceptions:

1. On-street parking shall be allowed if road widths are adequate. On-street parking may consist of parallel, perpendicular, angled, reverse angle or any combination of these types of parking spaces. If provided, on-street parking may be used to reduce the on-site parking requirement by up to fifty (50) percent.
2. For uses having different parking requirements and occupying the same building or Parcel, the minimum number of required spaces shall be the sum total requirement of all the individual uses. For Developments or portions of Developments within the same PD District designed as a single, coordinated project having at least 50,000 square feet of Gross Floor Area, the minimum number of required spaces shall be one space for every 250 square feet of Gross Floor Area designed for nonresidential use and occupancy.
3. Shared parking in general accordance with Chapter 4 of the UDO is allowed and encouraged in circumstances where the parking would be within 1,200 feet of each respective use. If shared parking is proposed as a means of satisfying off-street parking requirements, a shared parking analysis must be submitted to the Planning Director that clearly demonstrates the feasibility of shared parking. The study must address, at a minimum, the size and type of the proposed Development, the composition of tenants, the anticipated rate of parking turnover and the anticipated peak parking and traffic loads for all uses that will be sharing off-street parking spaces.
4. There is no off-street loading requirement for a building with less than 10,000 square feet of gross building area. Otherwise, off-street loading shall comply with the requirements for off-street loading set forth in Chapter 4 of the UDO.

N. Conversion Schedule

The PD zoning application may include a Conversion Schedule that identifies a proposed range of conversion between different types of uses within the PD District. The Conversion Schedule, if submitted, shall be provided in the Development Conditions and must be approved in conjunction with the PD District zoning application. Conversions from an approved land use to an alternative land use may occur within and between Development areas as minor amendments if:

1. The conversion from the approved use to the alternative use is consistent with the Conversion Schedule approved with the Development Conditions;
2. The dimensional standards of the alternative use comply with the approved Development Conditions and Land Use Plan for the PD District;
3. The maximum threshold for the PD District's permitted density, intensity or Development potential is not exceeded;
4. The alternative use is not anticipated to significantly increase or adversely alter offsite traffic impacts; and
5. The general character and mix of uses for the project are maintained.

O. Additional Regulations for All PDs

1. Residential uses in commercial and office buildings. A residential use may be located above a commercial or office use located on the first Floor of the same building.
2. Building heights shall adhere to the limitations set forth in Chapter 4 for the **RM-1** district. The Applicant may propose an alternative height that exceeds the established limits, provided the increased height does not negatively affect surrounding properties and is approved by the Town Council.
3. Appurtenances. A step, stoop, open porch, balcony, awnings or other appurtenance may extend up to five (5) feet into the front setback, provided such features do not impede pedestrian circulation or extend more than twenty-five (25) percent into the setback.
4. Utility lines. All new utilities associated with the proposed Development shall be underground.

P. Accessory Uses

Accessory Uses shall comply with the standards of Sections **Error! Reference source not found.** and **Error! Reference source not found.** unless otherwise approved as part of the PD Development Conditions.



Planning Department

180 SW Broad Street
Southern Pines, NC 28387

Phone (910) 692-4003
Fax (910) 692-9495

May 14, 2014

Mr. Chris Jordan
312 Fields Drive
Aberdeen, NC 28315

RE: Z-01-14; Request to Rezone the Southern Pines Corporate Park from Industrial (I) to Planned Development (PD), Petitioner, Chris Jordan

Dear Mr. Jordan,

On May 13, 2014, the Town of Southern Pines Town Council approved your request as submitted for a Zoning Map Amendment to rezone the Southern Pines Corporate Park under the application Z-01-14, Request to Rezone the Southern Pines Corporate Park from Industrial (I) to Planned Development (PD). The Southern Pines Corporate Park is comprised of 103.32 acres located at 115 Yadkin Road with the following PIN: 858200844750 (Parcel ID 00039569); PIN: 858216941750 (Parcel ID: 00031777); PIN: 858216839247 (Parcel ID: 00039763); PIN: 8582008597112 (Parcel ID: 20071012).

Please note the following:

IN ADDITION TO Rezoning Approval from Town Council, THE APPLICANT SHOULD BE REMINDED THAT ALL APPLICABLE PERMITS MUST BE OBTAINED BEFORE CONSTRUCTION AND/OR DEMOLITION CAN BEGIN (if applicable). When the applicant applies for the required permits such as zoning, grading, soil erosion control, building, sign, etc., a set of detailed plans (including a site plan in compliance with various Sections of the Town of Southern Pines UDO) will be necessary. Planning staff recommends a staff consultation of the applicant's preliminary plans to provide comprehensive remarks by all appropriate Town departments/divisions. Such staff consultation should minimize development costs, avoid misunderstanding or misinterpretation and ensure compliance with the requirements.

If you should have any questions, please contact Bart S. Nuckols, Planning Director, at 910-692-4003.

Sincerely,

Chris Kennedy, Planner
Town of Southern Pines

Cc: Bart Nuckols, Planning Director
File



TOWN OF SOUTHERN PINES COURTESY REVIEW

Case: PD-04-24 (Southern Pines Corporate Park Phase 2)

Location: Air Tool Drive / Southern Pines Corporate Park

PIN#: 858200843785

August 6, 2024

Following a review of the above referenced application by the RLUAC Land Use Committee, it has been determined that:

- The site is designated as Important to Protect in the Fort Liberty Compatible Use Rating system due to its location within a designated High Quality Waters drainage area (Mill Creek HQW Management Area).

RLUAC encourages the Town of Southern Pines and the applicant / developer to take such measures as are feasible to limit the impact of stormwater runoff from the future development of the site on McDeeds Creek (a tributary of Mill Creek) and the Mill Creek High Quality Waters Management Area. Maintaining the integrity of important environmental assets contributes to the overall compatibility of our region with Fort Liberty's environmental protection mission, which goes hand-in-hand with its military training and operational missions. Beyond the potential environmental impact of the proposed development, the nature of the use proposed for the site does not present any compatibility concerns with regard to military training or operations.

While RLUAC's findings and recommendations are non-binding on the Town of Southern Pines, their consideration and incorporation into your review of this case will help to improve compatibility outcomes for our region as a whole by protecting Fort Liberty's military training and operational missions.

Thank you for allowing RLUAC to review this case.

Kia Anthony, Chairman

Vagn K. Hansen II, AICP, Executive Director